



GWINNETT COUNTY

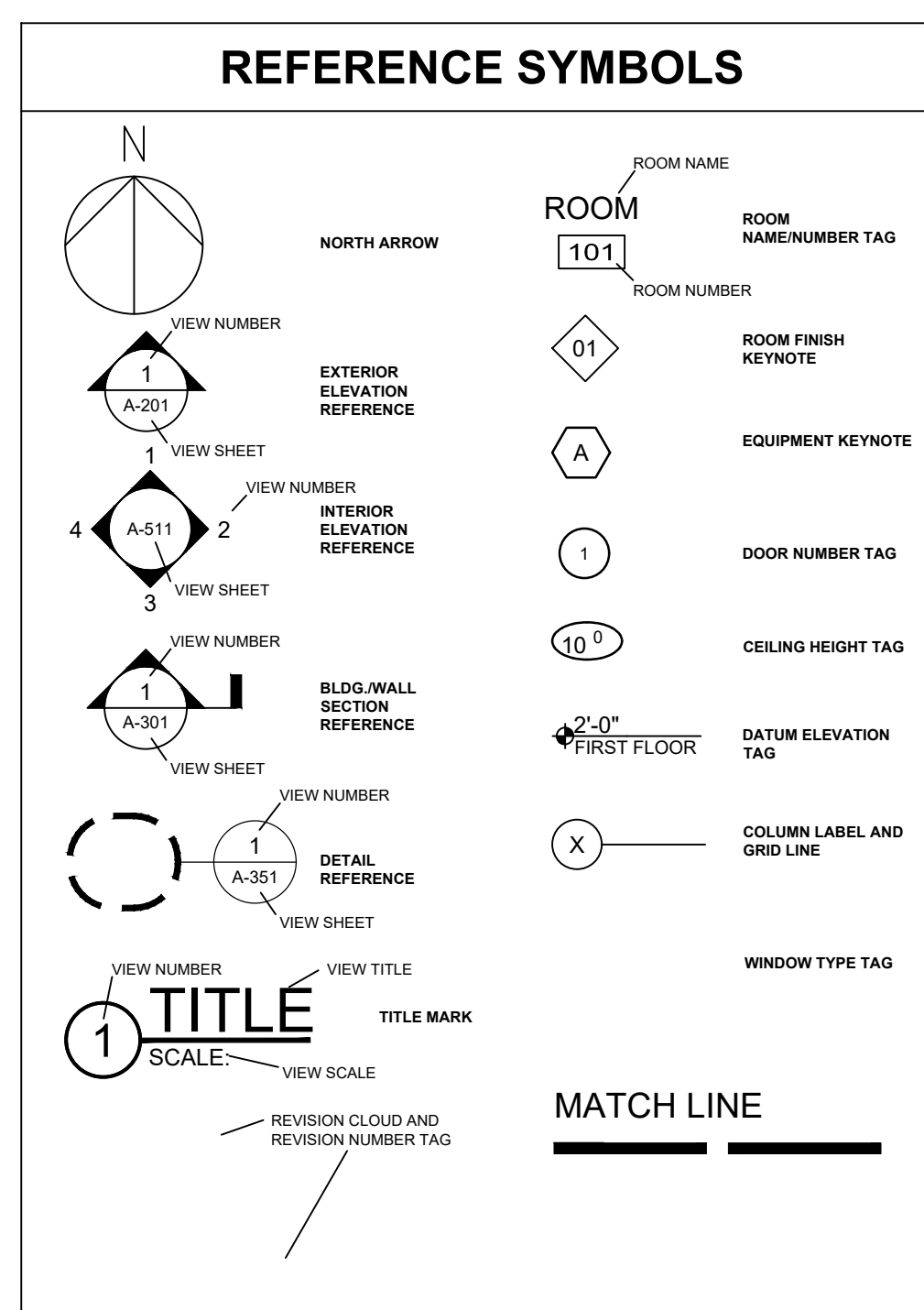
SENIOR SERVICES CENTER LOADING DOCK RENOVATION

BL053-24

567 SWANSON DRIVE,
LAWRENCEVILLE, GA 30046

OWNER: GWINNETT COUNTY DEPARTMENT OF SUPPORT SERVICES
FACILITY CONSTRUCTION DIVISION
75 LANGLEY DRIVE
LAWRENCEVILLE, GA 30046
770-822-7102

ARCHITECT: LINDSAY POPE BRAYFIELD & ASSOCIATES, INC.
344 WEST PIKE STREET,
LAWRENCEVILLE, GA 30046
770-963-8989



ABBREVIATION	TERM	ABBREVIATION	TERM	ABBREVIATION	TERM	ABBREVIATION	TERM	ABBREVIATION	TERM
AT	CLASSROOM	EXT	EXTERIOR	LAV	LAVATORY	SPL	SPLASH		
&	AND	CT	CERAMIC TILE	FE	FIRE EXTINGUISHER	LVR	LOUVER	SO	SQUARE
AB	ANCHOR BOLT	CF/CJ	CERAMIC FURNISHED/ CONTRACTOR INSTALLED	FEC	FIRE EXTINGUISHER CABINET	LT	LIGHT	SS	STAINLESS STEEL; SERVICE SINK
ATC	ACOUSTICAL TILE CEILING	DBL	DOUBLE	FOB	FACE OF BRICK	MACH	MACHINE	ST	STAIN
A/C	AIR CONDITIONING	DTL	DETAIL	FOC	FACE OF COLUMN	MAINT	MAINTENANCE	STL	STEEL
ACST	ACOUSTIC	DF	DRINKING FOUNTAIN	FO CMU	FACE OF CMU	MAX	MAXIMUM	STOR	STORAGE
ADJ	ADJUSTABLE; ADJOINING; ADJACENT	DIAG	DIAGONAL	FD	FLOOR DRAIN	MB	MARKERBOARD	SUSP	SUSPENDED
AFF	ABOVE FINISHED FLOOR	DIA	DIAMETER	FF	FINISH FLOOR	MECH	MECHANICAL	SP	STAND PIPE
AFG	ABOVE FINISHED GRADE	DIM	DIMENSION	FG	FINISH GRADE	MIN	MINIMUM	TB	TACKBOARD
ALUM	ALUMINUM	D/R	DINING ROOM	FIN	FINISH	MISC	MISCELLANEOUS	TC	TEXTURE COATING
APPROX	APPROXIMATE	DISP	DISPENSER	FLR	FLOOR	MR	MOISTURE RESISTANT	TEXT	TEXTURE
ASC	ABOVE SUSPENDED CEILING	DN	DOWN	FIRE	FIRE RESISTANT; FRAME	MT	MOUNT	THR	THRESHOLD
AUTO	AUTOMATIC	DR	DRAPERY; DRAPERY	FOS	FACE OF STUD	MTD	MOUNTED	T	TOP
BF	BARRIER FREE	DRESS	DRESSING	GA	GAUGE	MTL	METAL	TO CONC	TOP OF CONCRETE
BFA	BARRIER FREE ACCESSIBLE	DRK	DARK	GL	GLASS	NC	NON-COMBUSTIBLE	TOP	TOP OF PAVING
BM	BOTTOM	DWG	DRAWING	GPDW	GYPSUM DRYWALL	NIC	NOT IN CONTRACT	TOW	TOP OF WALL
BOT	BOTTOM	EA	EACH	GPWB	HOSE BIBB	NTS	NOT TO SCALE	TR	TREAD
CAB	CABINET	EB	EXPANSION BOLT	HC	HOLLOW CORE	OC	ON CENTER	TYP	TYPICAL
CER	CERAMIC	EF	EACH FACE	HD	HEAD; HUB DRAIN	OF	OUTSIDE FACE	UNO	UNLESS NOTED OTHERWISE
CJ	CONTROL JOINT	EIFS	EXTERIOR INSULATION FINISH SYSTEM	HDWR	HARDWARE	OF/CI	OWNER FURNISHED/ CONTRACTOR INSTALLED	V	VERTICAL
CL	CENTERLINE	EJ	EXPANSION JOINT	HM	HOLLOW METAL	OF/OI	OWNER FURNISHED/ OWNER INSTALLED	VCT	VINYL COMPOSITION TILE
CLG	CEILING	ELEV	ELEVATION	H	HORIZONTAL	VEST	VESTIBULE	W	WIDTH
CLR	CLEAR; COLOR	EVTR	ELEVATOR	HT	HEIGHT	W	WIDTH	W	WIDTH
CMU	CONCRETE MASONRY UNIT	EQ	EQUAL	ID	IDENTIFICATION	W/	WITH	W	WIDTH
CPT	CARPET	EQUIP	EQUIPMENT	IF	INSIDE FACE	WC	WALL COVERING	WD	WOOD
CO	CLEAN OUT	EW	EACH WAY	INSUL	INSULATION	WC	WALL COVERING	WD	WOOD
COL	COLUMN	EWC	ELECTRIC WATER COOLER	INT	INTERIOR	WH	WALL HYDRANT	WI	WROUGHT IRON
CONC	CONCRETE	EXIST	EXISTING	JAN	JANITOR	WR	WATER RESISTANT		
CONT	CONTINUOUS	EXP	EXPOSED	LAM	LAMINATED				

NO.	DESCRIPTION
G001	COVER SHEET
AD101	DEMOLITION PLAN AND ELEVATION
A101	RENOVATION PLAN AND ELEVATION
A301	WALL SECTIONS AND DETAILS
S101	EXISTING BUILDING PLAN
P101	PLUMBING DEMOLITION AND RENOVATION PLAN
E101	POWER DEMOLITION AND RENOVATION PLAN
E161	LIGHTING DEMOLITION AND RENOVATION PLAN

OCCUPANCY	FL. AREA IN S.F.	FL. AREA IN S.F. PER OCCUPANT (PER NFPA)	# OF OCCUPANTS
ASSEMBLY (A) KITCHENS	972 S.F.	100 S.F.	10
TOTAL	972 S.F.		10

GWINNETT COUNTY DEPARTMENT OF SUPPORT SERVICES FACILITY CONSTRUCTION DIVISION 75 LANGLEY DRIVE LAWRENCEVILLE, GA 30046 770-822-7102			
ARCHITECT:	Brian L. O'Toole	PHONE: 770-407-5776	REG: 011439
STRUCTURAL ENGINEER:	Robert Berry	PHONE: 770-407-5719	REG: PE034120
MECHANICAL ENGINEER:	H Taylor Walker	PHONE: 770-407-5744	REG: PE29306
ELECTRICAL ENGINEER:	Brandon Perkins	PHONE: 770-407-5734	REG: PE44620

PLAN REVIEW IS BASED ON THE FOLLOWING INFORMATION:			
DATE OF REVIEW:		B.P.R. FILE NO.:	
INTERIOR FINISH PERMIT #:		SITE DEVELOPMENT PERMIT:	
DISTRICT/LAND LOT		ZONING DISTRICT:	

PROJECT NAME:	SENIOR SERVICE CENTER LOADING DOCK RENOVATION
PROJECT ADDRESS:	567 Swanson Drive, Lawrenceville, GA, 30046

OCCUPANCY CLASSIFICATION		CONSTRUCTION CLASSIFICATION	
Occupancy Group:	Assembly (A)	Type of Construction:	IIB - EXISTING
		Sprinklered:	YES
		Fire Alarm:	YES
BUILDING HEIGHT			
Number of Stories:	1		
EXISTING BUILDING (sq. ft.):	20,056 S.F.	Building Height (ft.):	EXIST: 23'-0"
RENOVATED PORTION (sq. ft.):	900 S.F.	Building Code Height Limit (ft.):	75'-0"
DESIGN LOADS			
		Minimum Roof Live Loads (psf):	

THE FOLLOWING ARE THE CURRENT STATE MINIMUM STANDARD CODES FOR CONSTRUCTION AS ADOPTED BY THE BOARD OF COMMUNITY AFFAIRS:	
INTERNATIONAL BUILDING CODE	- 2018 EDITION WITH 2022 AMENDMENTS
INTERNATIONAL MECHANICAL CODE	- 2018 EDITION WITH 2020 AMENDMENTS
INTERNATIONAL FUEL GAS CODE	- 2018 EDITION WITH 2020 & 2022 AMENDMENTS
INTERNATIONAL PLUMBING CODE	- 2018 EDITION WITH 2020, 2022 & 2023 AMENDMENTS
NFPA NATIONAL ELECTRICAL CODE	- 2020 EDITION WITH 2021 AMENDMENTS
INTERN. ENERGY CONSERVATION CODE	- 2015 EDITION WITH 2020, 2022 AND 2023 SUPPLEMENTS & AMENDMENTS
INTERN. ENERGY CONSERVATION CODE	- 2015 EDITION WITH 2020, 2022 AND 2023 SUPPLEMENTS & AMENDMENTS
INTERN. EXISTING BUILDING CODE	- 2018 EDITION WITH 2021 AMENDMENTS

2015 GWINNETT COUNTY ORDINANCE FOR FIRE PREVENTION AND PROTECTION ORDINANCE	
NFPA CODES AND STANDARDS: CURRENT ADOPTED EDITIONS (*)	
NFPA 101 LIFE SAFETY CODE	- 2018 Edition Amended by 120-3-3 (*)
INTERNATIONAL FIRE CODE	- 2018 Edition Amended by 120-3-3 (*)
(*) Referenced codes are modified by the State Fire Marshal per Ch. 120-3-3 of Rules and Regulations of the Safety Fire Commission(s).	
2020 OCGA 120-3-3 GEORGIA MINIMUM FIRE SAFETY STANDARDS	
TITLE 25 O.C.G.A. (STATE FIRE LAW)	
TITLE 30 O.C.G.A. (ACCESS TO USE OF PUBLIC FACILITIES BY PERSONS WITH DISABILITIES)	
2010 ADA STANDARD FOR ACCESSIBLE DESIGN	

GWINNETT COUNTY FIRE MARSHAL INSPECTIONS ARE TO BE SCHEDULED ONLINE AT:
GwinnettZIP.com-
50% = INSPECTIONS OF VERTICAL PENETRATIONS.
-80% = INSPECTIONS OF ANY FIRE RATED PARTITIONS, FLOOR OR CEILING, CEILING PARTITIONS, FLOOR OR CEILING, CEILING COVER UP.
-100% = FINAL INSPECTION. ALL SYSTEMS AND EQUIPMENT ARE INSTALLED AND OPERATIONAL.
ANY INSPECTION REQUEST MADE BEFORE 2:00 PM WILL BE SCHEDULED FOR THE NEXT BUSINESS DAY.

L P B
344 WEST PIKE STREET,
LAWRENCEVILLE, GA 30046
PHONE: (770) 963-8989
© 2024 ALL RIGHTS RESERVED
L P B ARCHITECTS



ISSUE	DATE
SCHEMATIC	10-30-2023
PERMIT SET	11-22-2023
PERMIT RESUB	01-24-2024
BID SET	03-01-2024

DRAWN BY:	Author
CHECKED BY:	Checker

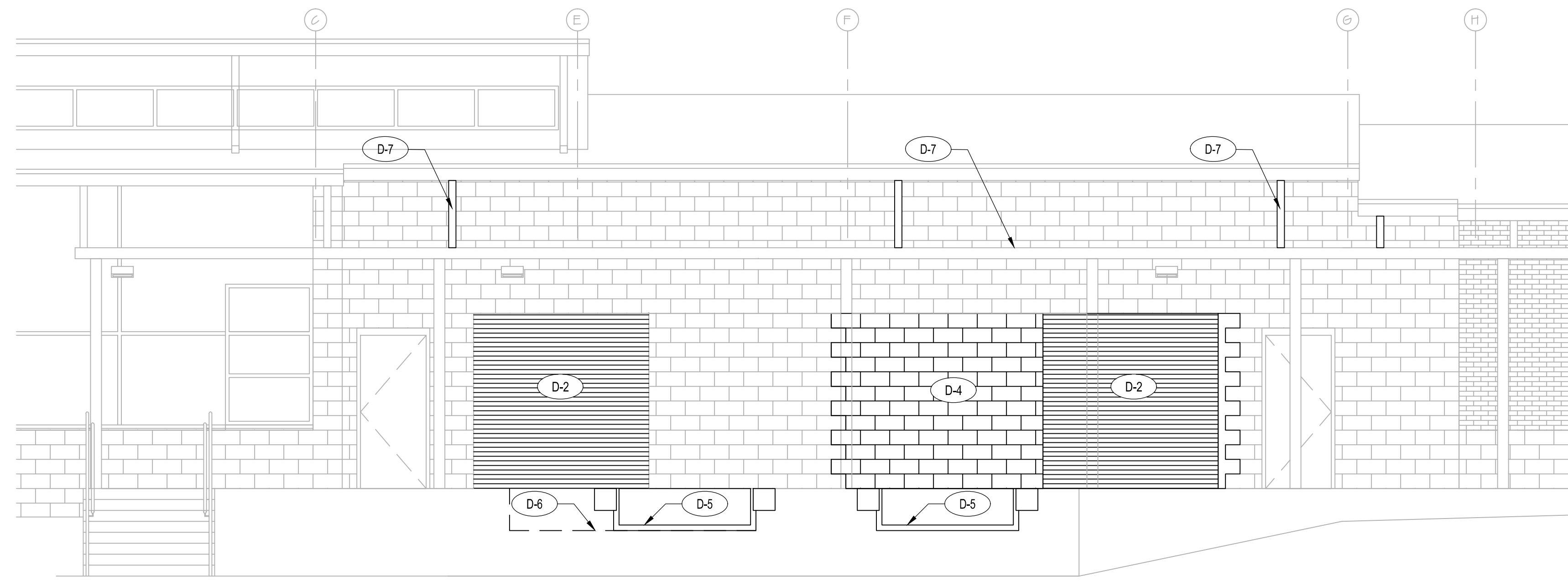
GWINNETT COUNTY
SENIOR SERVICES CENTER
LOADING DOCK RENOVATION

COVER SHEET
SENIOR SERVICES LOADING DOCK
567 SWANSON DRIVE, LAWRENCEVILLE, GA 30046

CURRENT REV. DATE:

PROJECT NO.: 223072

G001



2 DEMOLITION ELEVATION
1/4" = 1'-0"

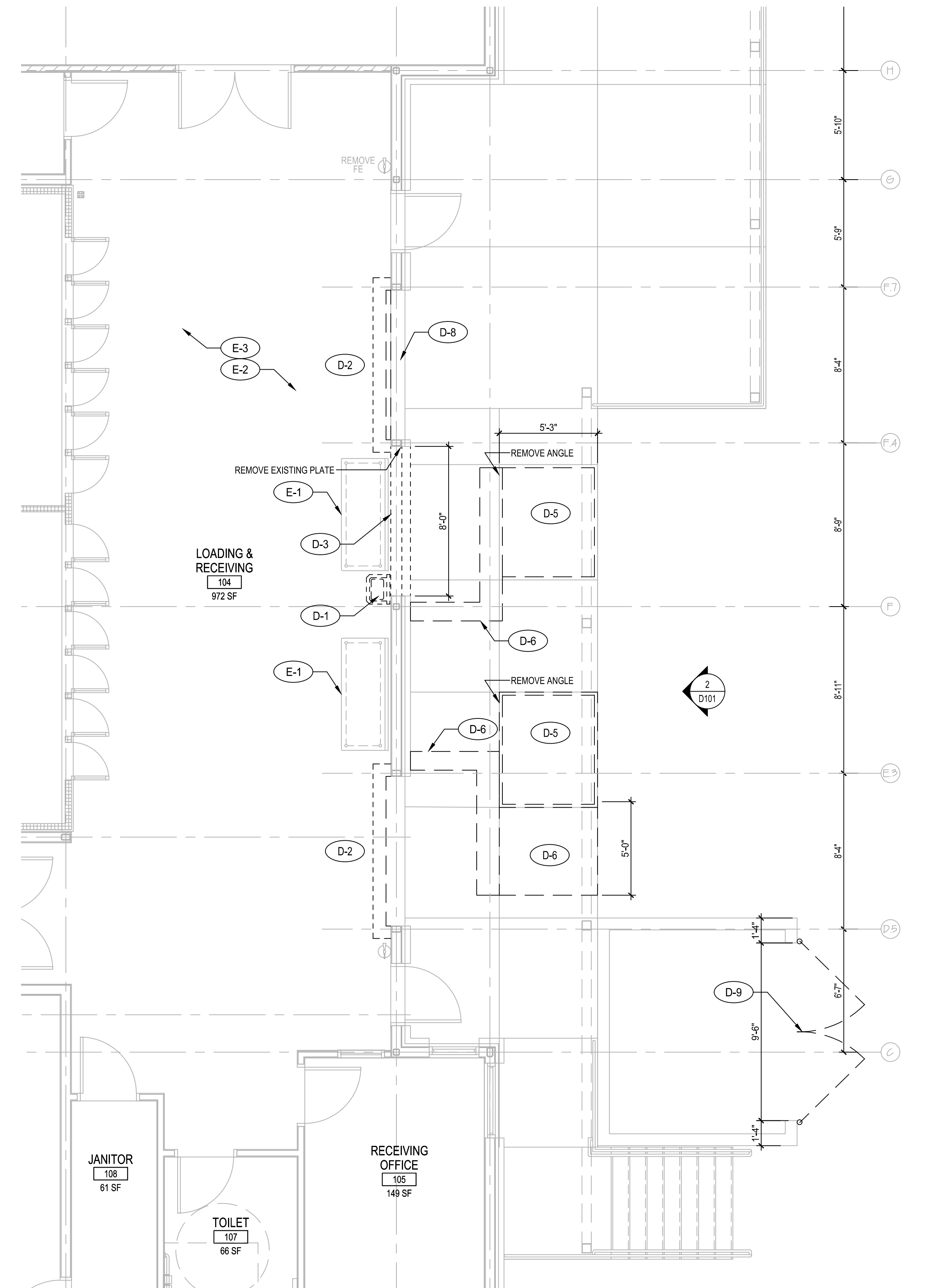
- DEMOLITION NOTES**
1. ALL CONSTRUCTION ITEMS SHOWN DASHED ARE TO BE DEMOLISHED AND REMOVED FROM SITE (PATCH WALL, FLOORS, GRIND SMOOTH, LEVEL AS REQUIRED). ROOF DECKING, BEAMS, JOISTS AND COLUMNS WILL REMAIN IN PLACE UNLESS OTHERWISE NOTED.
 2. FIELD VERIFY ALL EXISTING CONDITIONS, INCLUDING ITEMS TO REMAIN OR BE REMOVED. DRAWINGS SHOW AS MANY ITEMS AS POSSIBLE FOR REFERENCE ONLY AND ARE NOT INTENDED TO COMPLETELY REPRESENT ALL EXISTING CONDITIONS. OWNER SHALL PROVIDE A LIST OF ITEMS TO BE SALVAGED.
 3. FIELD VERIFY AND VISUALLY INSPECT ALL DIMENSIONS AND EXISTING CONDITIONS FOR APPLICATION OF PROPOSED CONSTRUCTION TECHNIQUES PRIOR TO BID AND PRIOR TO ORDERING AND CONSTRUCTING CUT MATERIALS. RELAY ANY CONFLICTS DETERMINED DURING THE COURSE OF BIDDING & CONSTRUCTION IMMEDIATELY TO THE ARCHITECT IN WRITING.
 4. RELAY ANY CONFLICTS DETERMINED DURING THE COURSE OF BIDDING & CONSTRUCTION IMMEDIATELY TO THE ARCHITECT IN WRITING.
 5. ANY UTILITY SYSTEMS REQUIRED TO BE ACTIVE FOR USE OF EXISTING BUILDING SHALL REMAIN ACTIVE DURING THE COURSE OF THIS WORK. ANY INTERRUPTION OF SERVICES SHALL BE CLOSELY COORDINATED WITH THE OWNER.
 6. PATCH ALL HOLES & POINT UP BLOCK IN ALL RENOVATED AREAS.
 7. OWNER RESERVES THE RIGHT TO SALVAGE ANY ITEMS REMOVED & SHALL PROVIDE A LIST OF ITEMS TO THE GENERAL CONTRACTOR. ALL ITEMS SHALL BE DELIVERED TO GC WAREHOUSE WITHIN 20 MILE RADIUS OF SITE.
 8. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND RECONNECTING ALL EXISTING SPRINKLER HEADS, ESCUTCHEONS.
 9. REFER TO ELECTRICAL DRAWINGS FOR REMOVAL OF EXISTING LIGHT FIXTURES, ETC.
 10. ALL EXISTING PLUMBING FIXTURES, GRAB BARS, AND RESTROOM ACCESSORIES TO REMAIN, TYP. UNLESS OTHERWISE NOTED.
 11. ALL DENTS AND DRILLED HOLES IN GROW PARTITIONS AND CMU WALLS REQUIRE PATCHING PRIOR TO PAINTING.
 12. ALL EXISTING AND IN WORKING CONDITION EMERGENCY LIGHT FIXTURES TO BE REUSED. SEE ELECTRICAL DRAWINGS.

DEMOLITION KEYNOTES

NO.	DESCRIPTION
D-1	REMOVE EXISTING SINK AND ELECTRIC WATER HEATER AND DISPOSE OF DEBRIS
D-2	REMOVE EXISTING OVERHEAD COILING DOOR AND DISPOSE OF DEBRIS
D-3	REMOVE A SECTION OF EXISTING METAL STUD WALL AND DISPOSE OF DEBRIS.
D-4	REMOVE A SECTION OF EXISTING SPLIT FACE CMU VENEER AND DISPOSE OF DEBRIS
D-5	REMOVE EXISTING DOCK LEVELER AND STEEL ANGLE, AND DISPOSE OF DEBRIS
D-6	SAW CUT AND REMOVE EXISTING CONCRETE SIDEWALK AND DOCK LEVELER PIT AND DISPOSE OF DEBRIS
D-7	REMOVE EXISTING METAL FLASHING AND DOWNSPOUTS AND DISPOSE OF DEBRIS.
D-8	REMOVE EXISTING AIR CURTAIN AND HOLD FOR RE-INSTALLATION
D-9	REMOVE EXISTING CHAIN LINK GATE AND DISPOSE OF DEBRIS

EXISTING TO REMAIN

NO.	DESCRIPTION
E-1	EXISTING REFRIGERATED TABLES TO REMAIN PROTECT DURING RENOVATION.
E-2	EXISTING OVERHEAD HEATER TO BE RELOC. PROTECT DURING RENOVATION.
E-3	EXISTING OVERHEAD LIGHT FIXTURES TO BE RELOC. PROTECT DURING RENOVATION.



1 DEMOLITION FLOOR PLAN
1/4" = 1'-0"

EDITION:

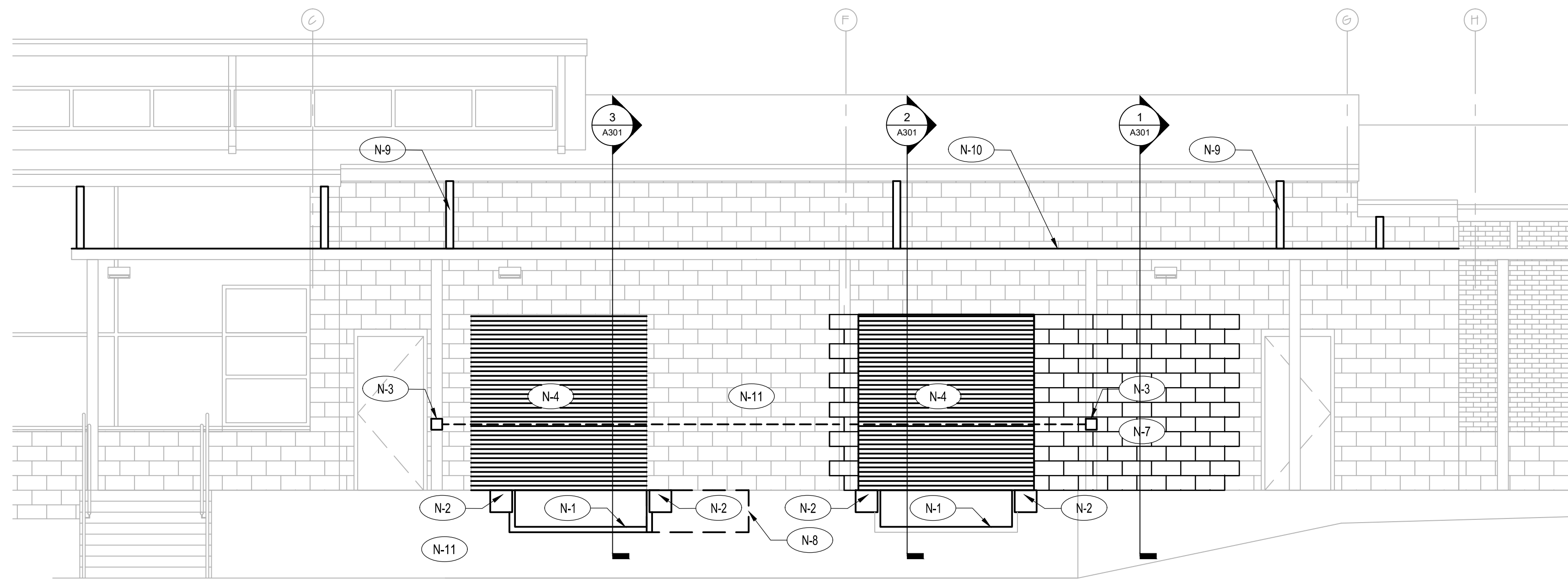
ISSUE	DATE
SCHEMATIC	10-30-2023
PERMIT SET	12-22-2023
BID SET	03-01-2024

DRAWN BY: _____ Author
CHECKED BY: _____ Checker

CURRENT REV. DATE:

PROJECT NO.: 223072

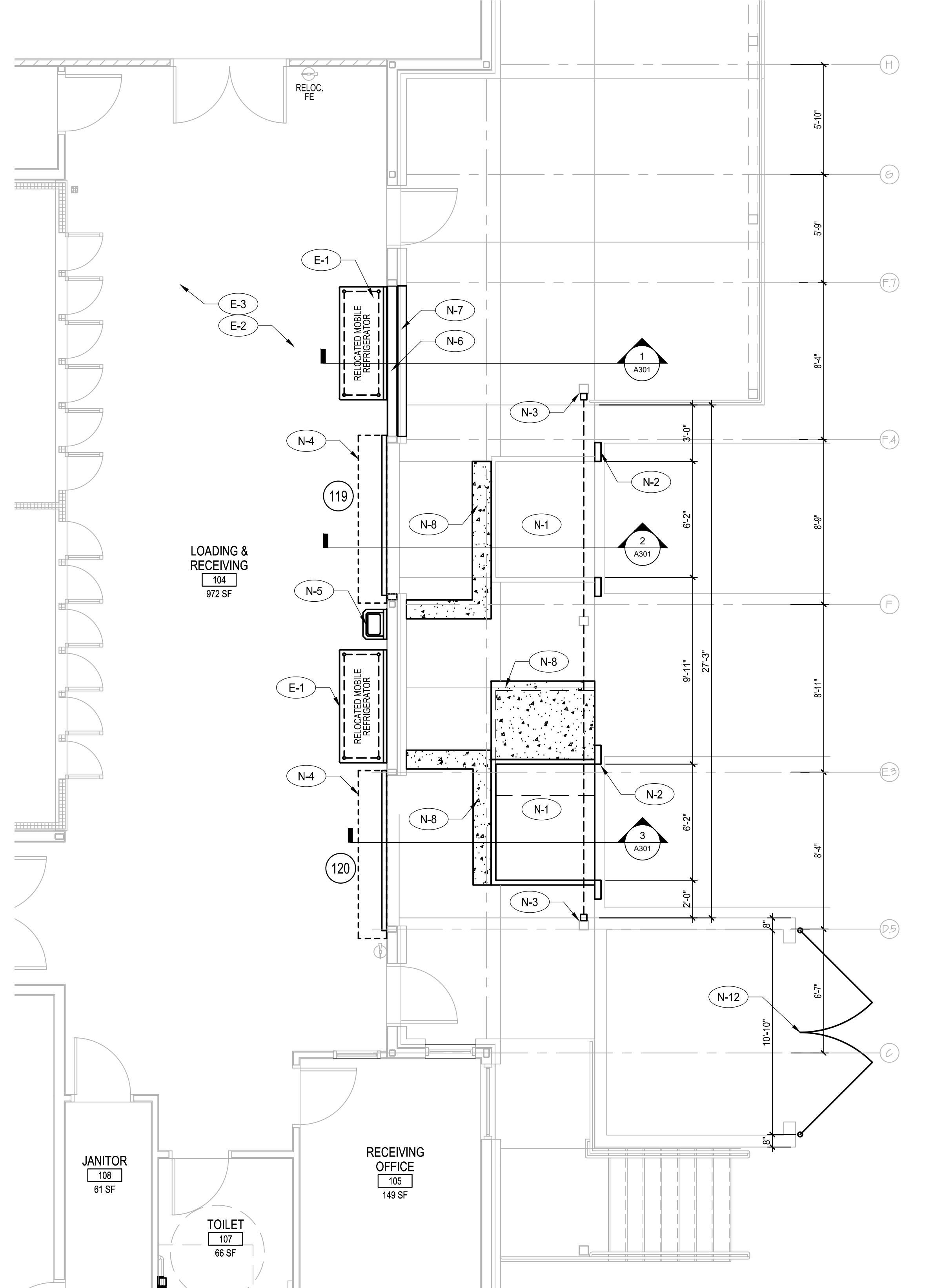
AD101



2 RENOVATION ELEVATION
1/4" = 1'-0"

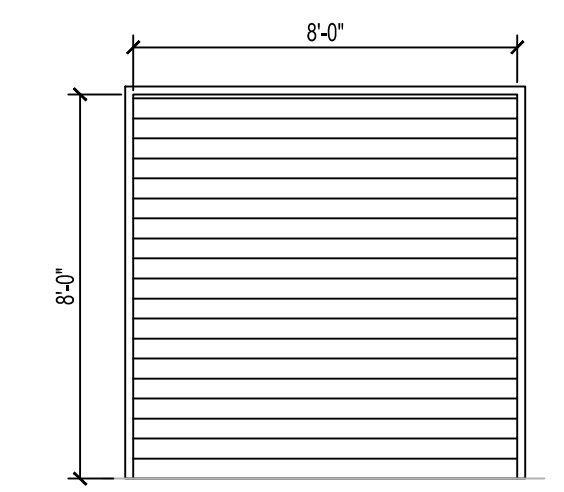
GENERAL NOTES	
1. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL CONSTRUCTION DEBRIS FROM SITE ON A DAILY BASIS. ALL BULBS, BALLAST AND OTHER SENSITIVE MATERIALS MUST BE DISPOSED OF PROPERLY.	
PHASING NOTES	
1. THE CONSTRUCTION PROCESS SHALL BE PHASED AS NEEDED TO MAINTAIN A FUNCTIONING LOADING DOCK, INCLUDING ONE DOCK LEVELER AND ONE OVERHEAD DOOR OPERATIONAL AT ALL TIMES.	
RENOVATION KEYNOTES	
NO.	DESCRIPTION
N-1	NEW HYDRAULIC DOCK LEVELER
N-2	NEW DOCK BUMPERS
N-3	NEW FALL PROTECTION RETRACTABLE STRAPS
N-4	NEW OVERHEAD COILING DOOR
N-5	NEW HAND SINK WITH POINT OF USE WATER HEATER
N-6	NEW METAL STUD INFILL OF EXISTING OPENING
N-7	NEW CMU INFILL TO MATCH EXISTING. TOOTH IN TO EXISTING CMU
N-8	PATCH CONCRETE SLAB AND WALL TO MATCH EXISTING LOADING DOCK
N-9	NEW PRE-FINISHED METAL DOWNSPOUT. COLOR TO MATCH EXISTING
N-10	NEW PRE-FINISHED METAL FLASHING. COLOR TO MATCH EXISTING
N-11	PRESSURE WASH EXISTING MASONRY WALLS AND CONCRETE SLABS IN LOADING DOCK AREA
N-12	NEW CHAIN LINK GATE W/ PRIVACY SLATS.

EXISTING TO REMAIN	
NO.	DESCRIPTION
E-1	EXISTING REFRIGERATED TABLES TO REMAIN PROTECT DURING RENOVATION.
E-2	EXISTING OVERHEAD HEATER TO BE RELOC. PROTECT DURING RENOVATION.
E-3	EXISTING OVERHEAD LIGHT FIXTURES TO BE RELOC. PROTECT DURING RENOVATION.

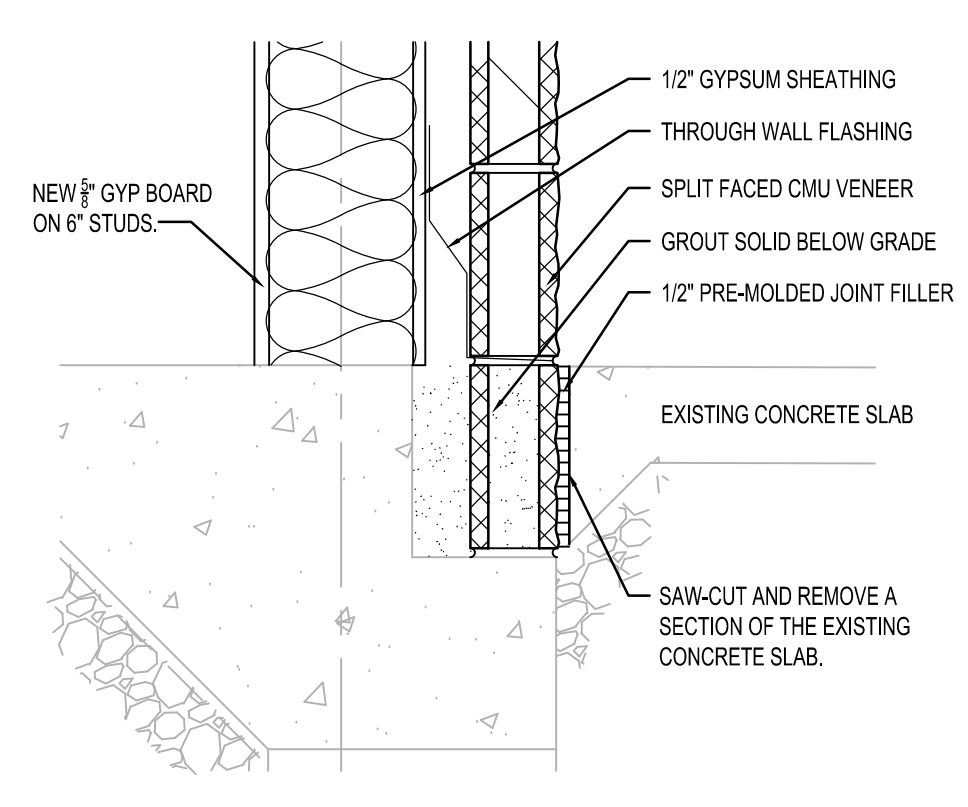


1 RENOVATION FLOOR PLAN
1/4" = 1'-0"

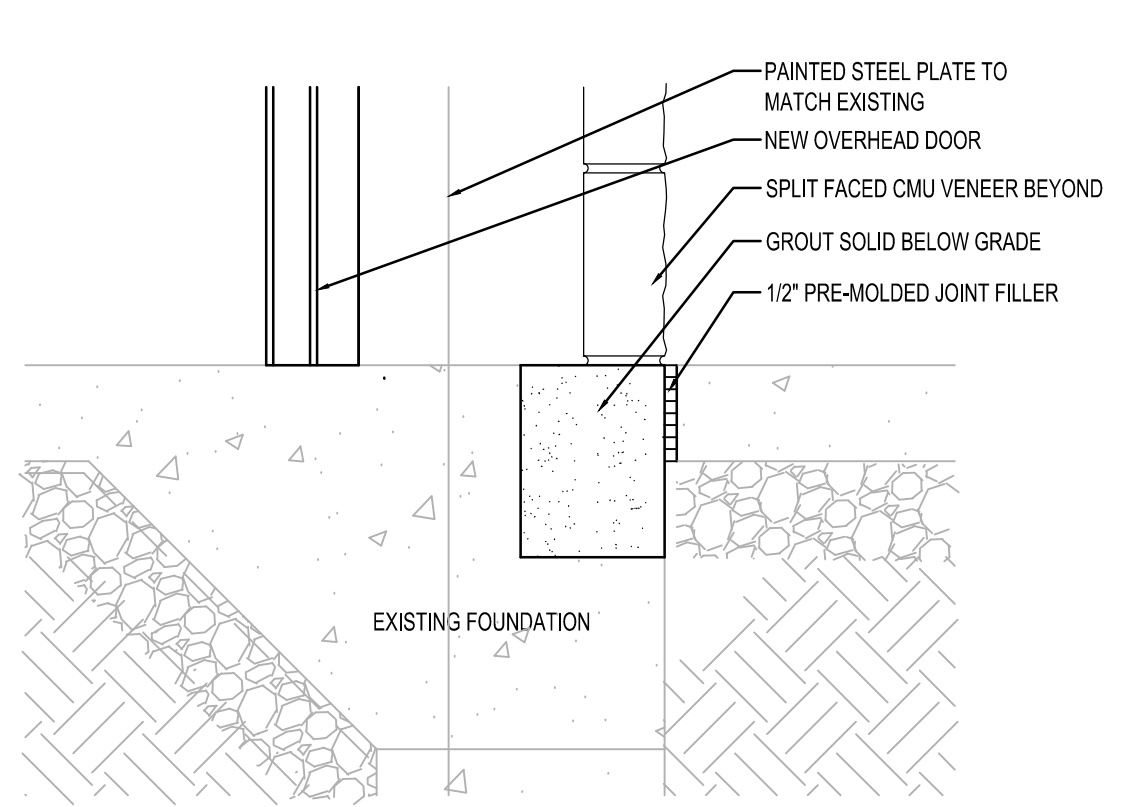
DR NO	FIRE RTG	TYPE SHEET	DOOR			FRAME			HARDWARE		DR NO					
			WIDTH	HGT	THK	MATL	FINISH	TYPE	MATL	FINISH						
												HEAD	JAMB	SILL	SET NO	PANIC BAR
119	-	A	8'-0"	8'-0"	1 3/4"	ALUM	PF	1	STEEL	PAINT	6/A301	7/A301	8/A301	NA	NA	119
120	-	A	8'-0"	8'-0"	1 3/4"	ALUM	PF	1	STEEL	PAINT	EXIST	EXIST	EXIST	NA	NA	120



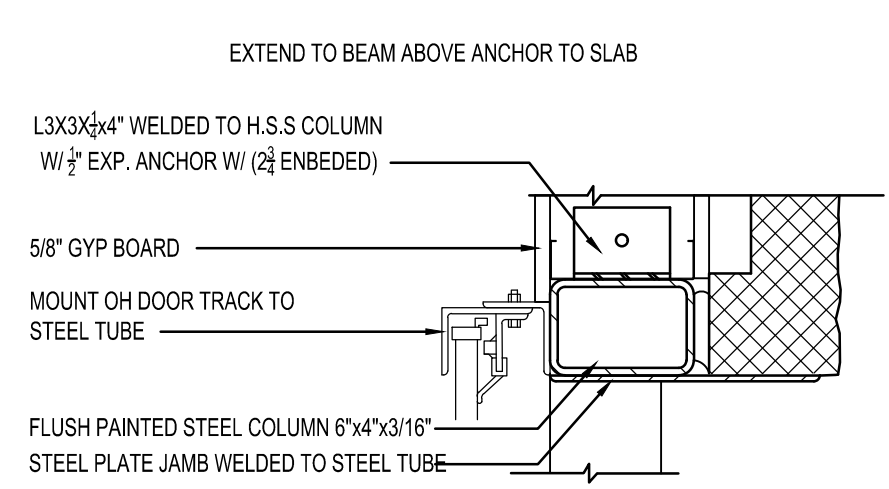
10 DOOR ELEVATION
 1/4" = 1'-0"



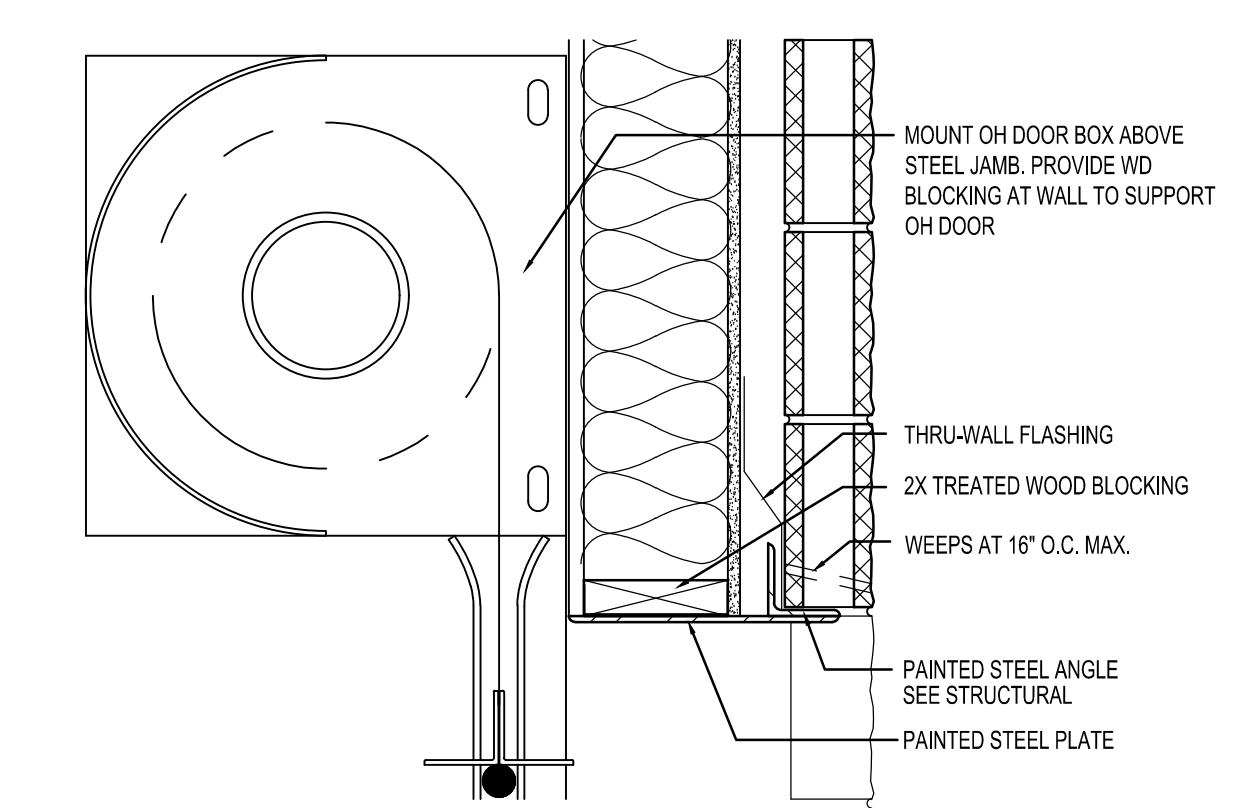
9 BASE OF WALL DETAIL
 1 1/2" = 1'-0"



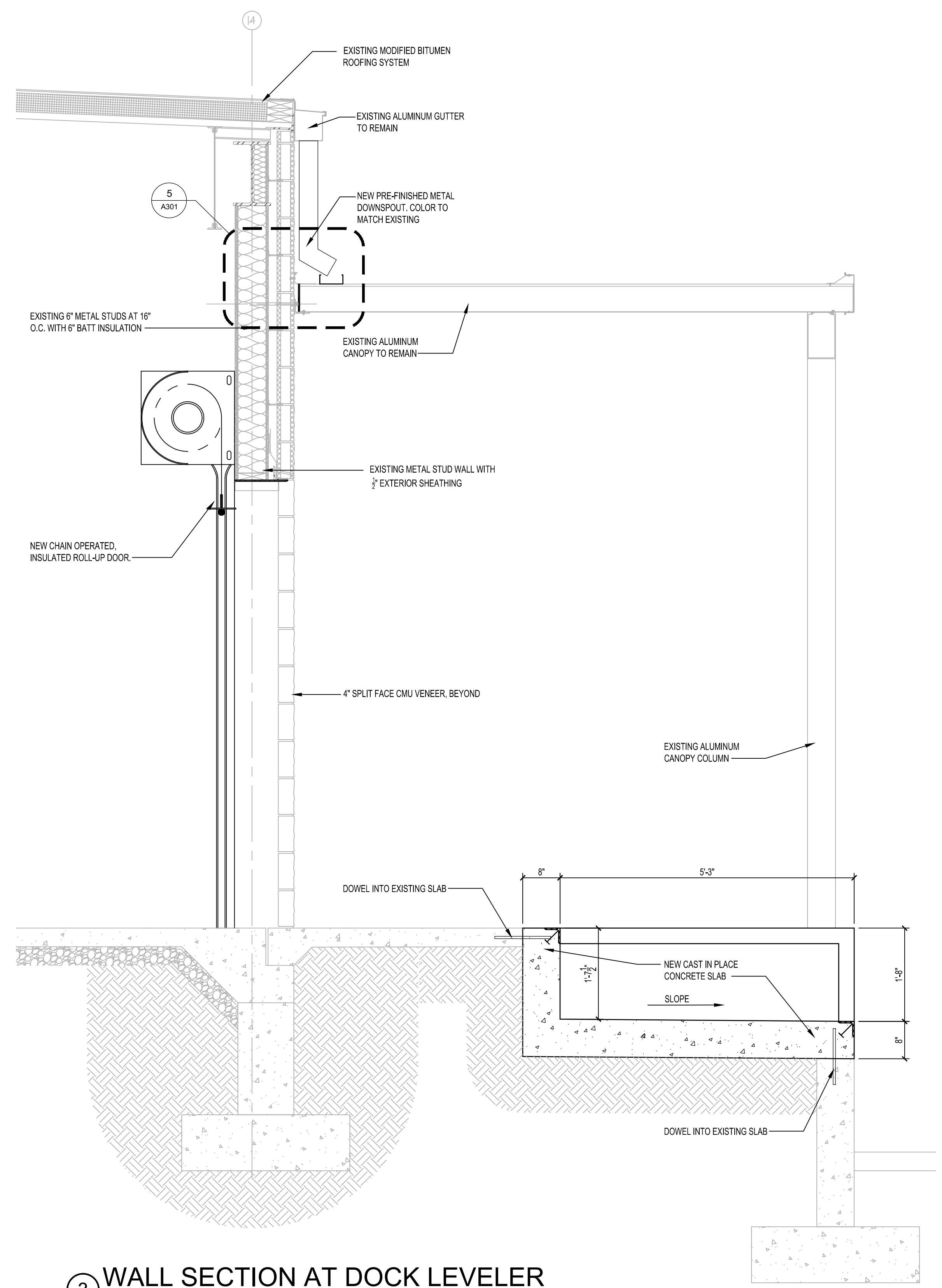
8 OVERHEAD DOOR SILL
 1 1/2" = 1'-0"



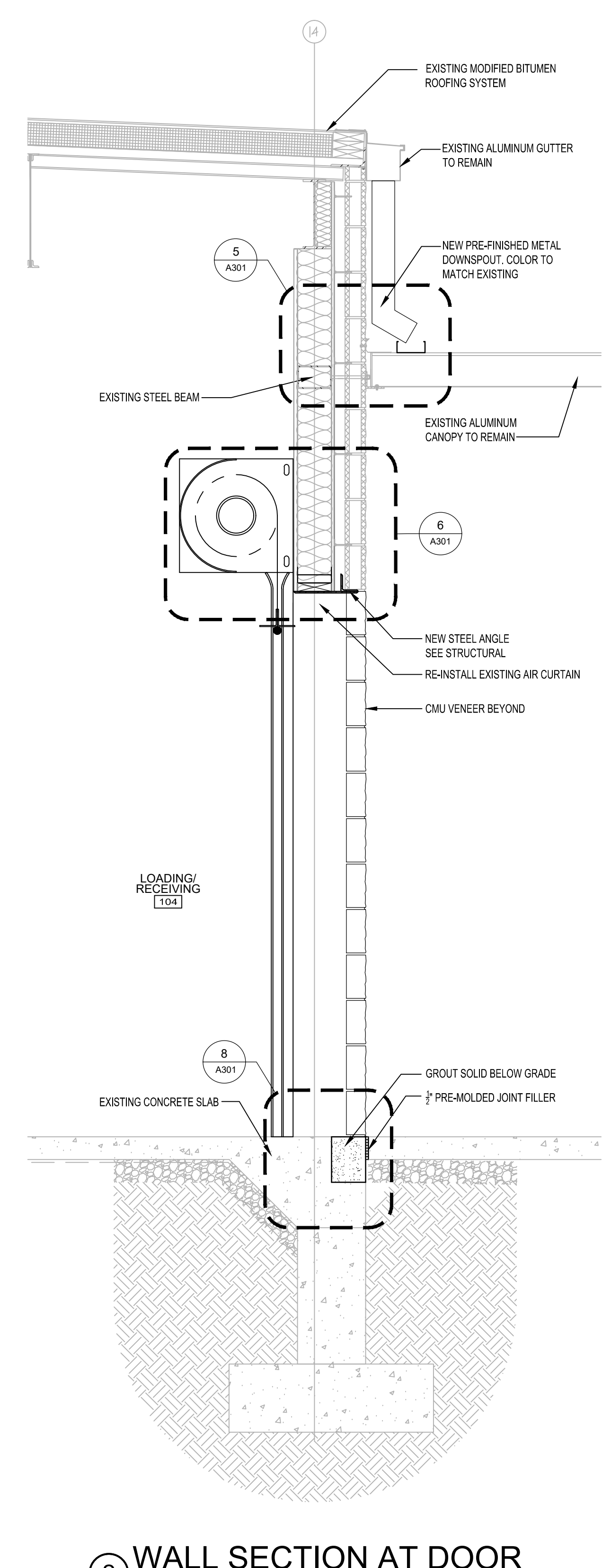
7 ROLL UP DOOR JAMB
 1 1/2" = 1'-0"



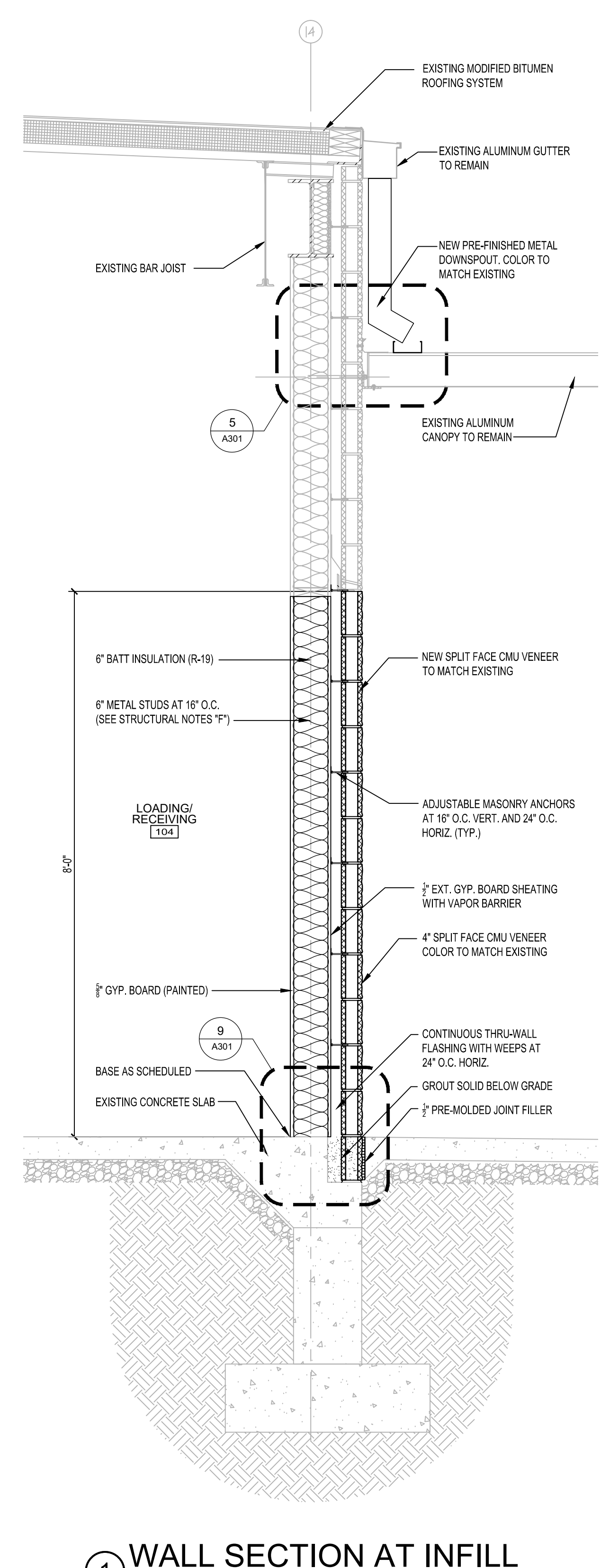
6 ROLL UP DOOR HEAD
 1 1/2" = 1'-0"



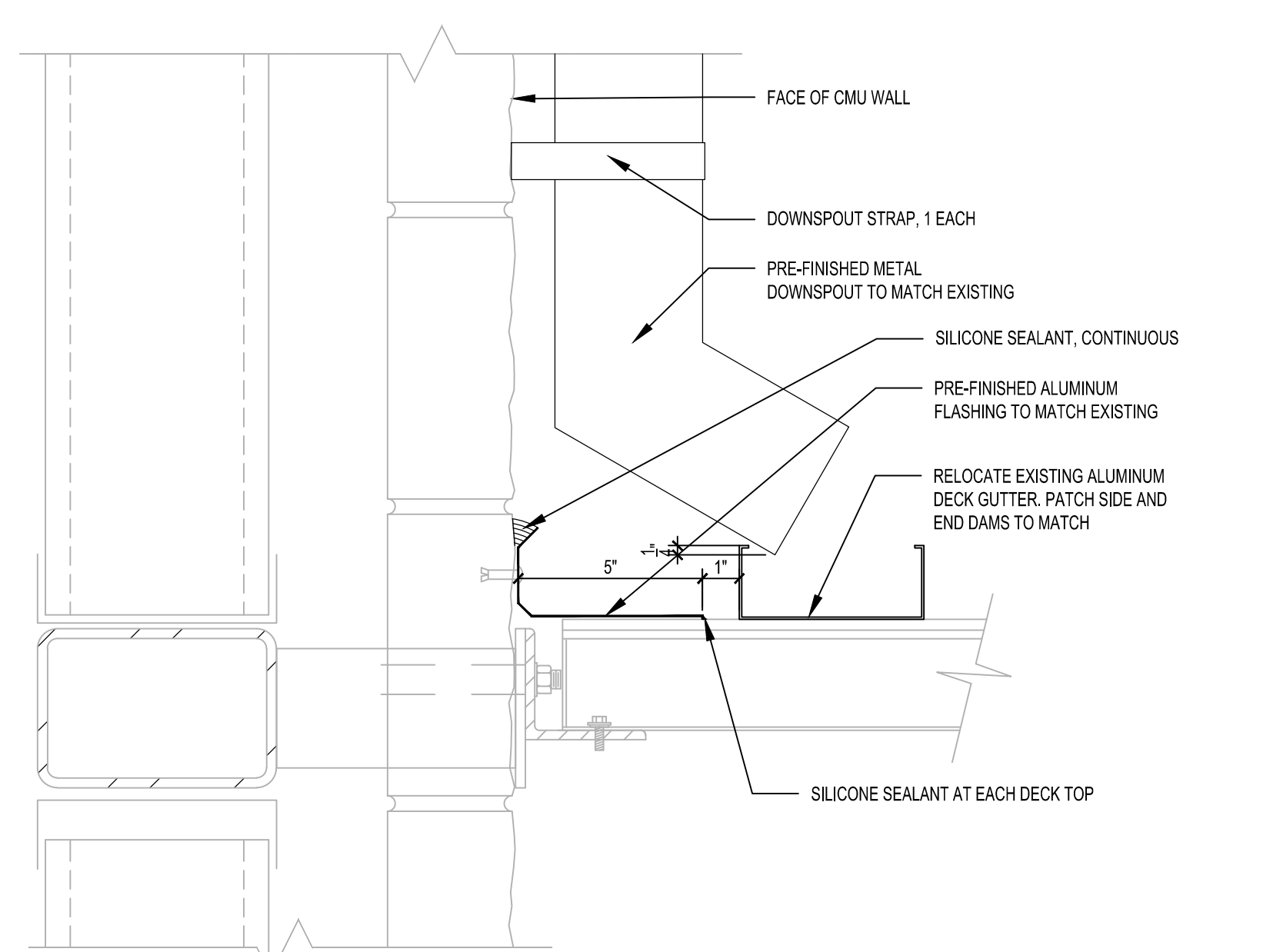
3 WALL SECTION AT DOCK LEVELER
 3/4" = 1'-0"



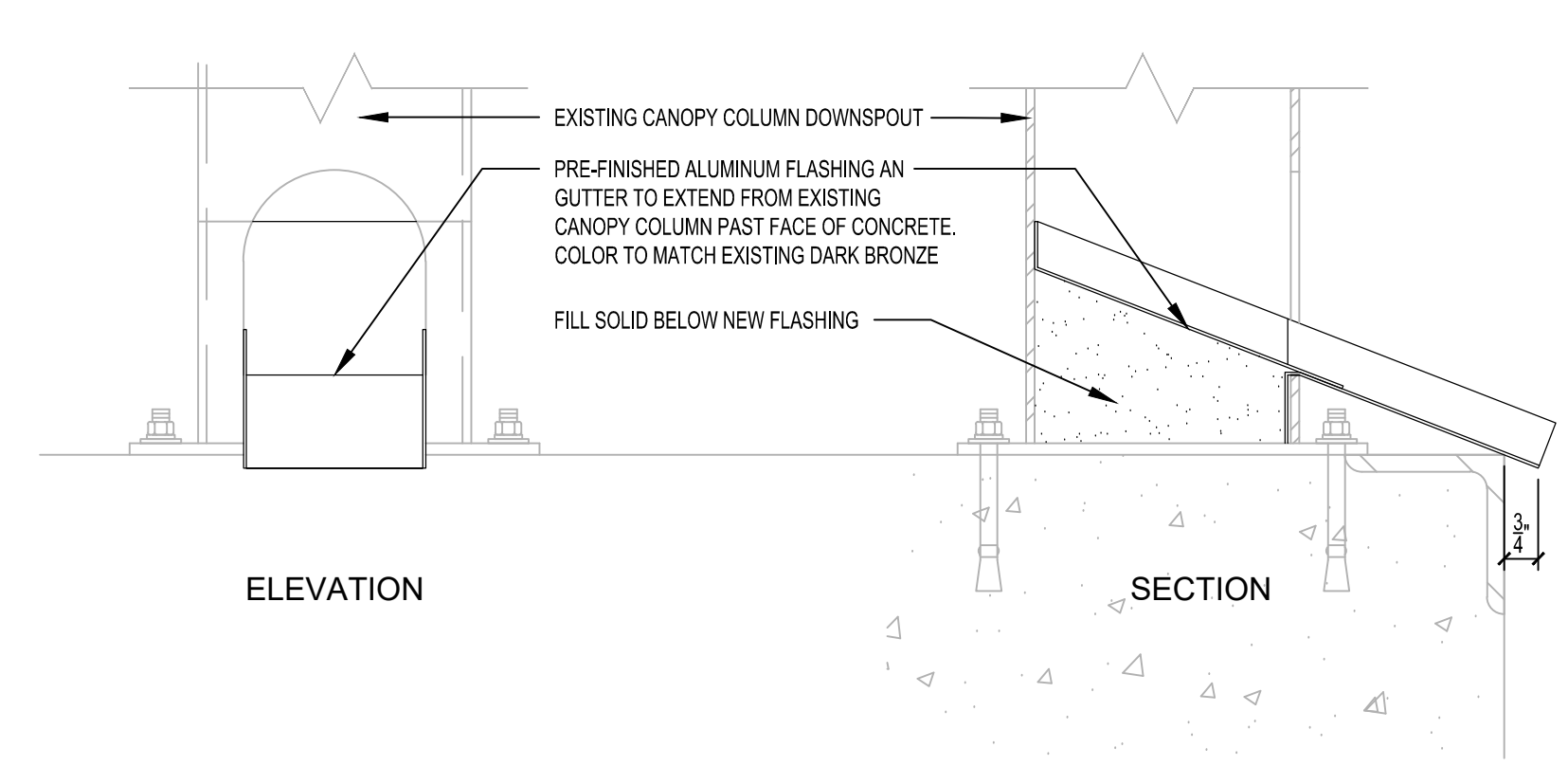
2 WALL SECTION AT DOOR
 3/4" = 1'-0"



1 WALL SECTION AT INFILL
 3/4" = 1'-0"



5 CANOPY FLASHING DETAIL
 3" = 1'-0"



4 CANOPY DOWNSPOUT DETAIL
 3" = 1'-0"

- A. GENERAL NOTES:**
- COORDINATE THESE DRAWINGS WITH ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, AND CIVIL DRAWINGS. NOTIFY ARCHITECT/STRUCTURAL ENGINEER OF ANY DISCREPANCY OR OMISSION.
 - WHERE A DETAIL IS SHOWN FOR ONE CONDITION, IT SHALL APPLY FOR ALL LIKE OR SIMILAR CONDITIONS (UNLESS NOTED OTHERWISE).
 - THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SHORING, RESHORING, AND BRACING DURING CONSTRUCTION.
 - COMPLETE SHOP DRAWINGS FOR CONSTRUCTION OF EACH BUILDING COMPONENT NOT DESIGNED BY THE DESIGN TEAM OF RECORD AND NOT SPECIFIED ON THE PROJECT CONSTRUCTION DOCUMENTS SHALL BE SEALED AND SIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF GEORGIA AND SHALL BE AVAILABLE @ THE JOBSITE DURING THE TIMES OF INSPECTION INCLUDING THE FOLLOWING COMPONENTS: AWINGS/CANOPIES, GLAZED SYSTEM (INCLUDING, BUT NOT LIMITED TO WINDOW UNITS/CURTAIN WALLS AND STOREFRONTS) WHICH EXCEED TEN(10) FEET IN HEIGHT, LIGHT GAUGE STEEL FRAMING, ORNAMENTAL GUARDRAILS, PRECAST CONCRETE, SKYLIGHTS, STAIRS, TRUSSES (FLOORS & ROOF).
- B. REINFORCED CONCRETE:**
- CONCRETE WORK SHALL CONFORM TO ACI 318-14, ACI 315-LATEST EDITION AND CRSI STANDARDS.
 - UNLESS NOTED OTHERWISE, 28-DAY COMPRESSIVE STRENGTH OF CAST-IN-PLACE CONCRETE FOR EACH PORTION OF THE STRUCTURE SHALL BE: 3000 PSI
 - PIPES OR DUCTS EXCEEDING ONE-THIRD THE SLAB OR WALL THICKNESS SHALL NOT BE PLACED IN STRUCTURAL CONCRETE UNLESS SPECIFICALLY DETAILED.
 - REINFORCING STEEL SHALL CONFORM TO ASTM A615 - GRADE 60.
 - REINFORCING STEEL TO BE WELDED SHALL CONFORM TO ASTM 706 AND AWS D1.4.
 - WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185, MINIMUM SIDE LAPS SHALL BE 8".
 - FIBER REINFORCING TO CONFORM TO NOTE 2 OF FOUNDATION NOTES.
 - UNLESS OTHERWISE NOTED, MINIMUM CONCRETE COVER OF REINFORCEMENT PROVIDED SHALL BE:
CONCRETE CAST AGAINST EARTH: - 2"
FORMED CONCRETE EXPOSED TO EARTH OR WEATHER: - 2"
SLABS (INTERIOR): - 3/4"
SLABS (EXPOSED TO WEATHER): - 1-1/2"
 - SPLICES NOT SHOWN ON THE DRAWINGS SHALL BE SUBJECT TO APPROVAL. BARS NOTED AS CONTINUOUS, INCLUDING TEMPERATURE STEEL, SHALL HAVE A CLASS "B" TENSION LAP UNLESS NOTED OTHERWISE.
 - UNLESS NOTED OTHERWISE, PROVIDE DOWELS IN FOOTINGS OR THICKENED SLABS, TO MATCH VERTICAL WALL OR COLUMN REINFORCING. DOWELS SHALL HAVE A MINIMUM STANDARD COMPRESSION LAP SPLICE UNLESS NOTED OTHERWISE.
 - LONGITUDINAL REINFORCING IN FOOTINGS SHALL BE PLACED CONTINUOUS AT CORNERS AND INTERSECTIONS UNLESS NOTED OTHERWISE.
 - CONCRETE TEST REPORTS TO BE AVAILABLE AT JOBSITE.
 - SLUMP = 4" +/- 1"

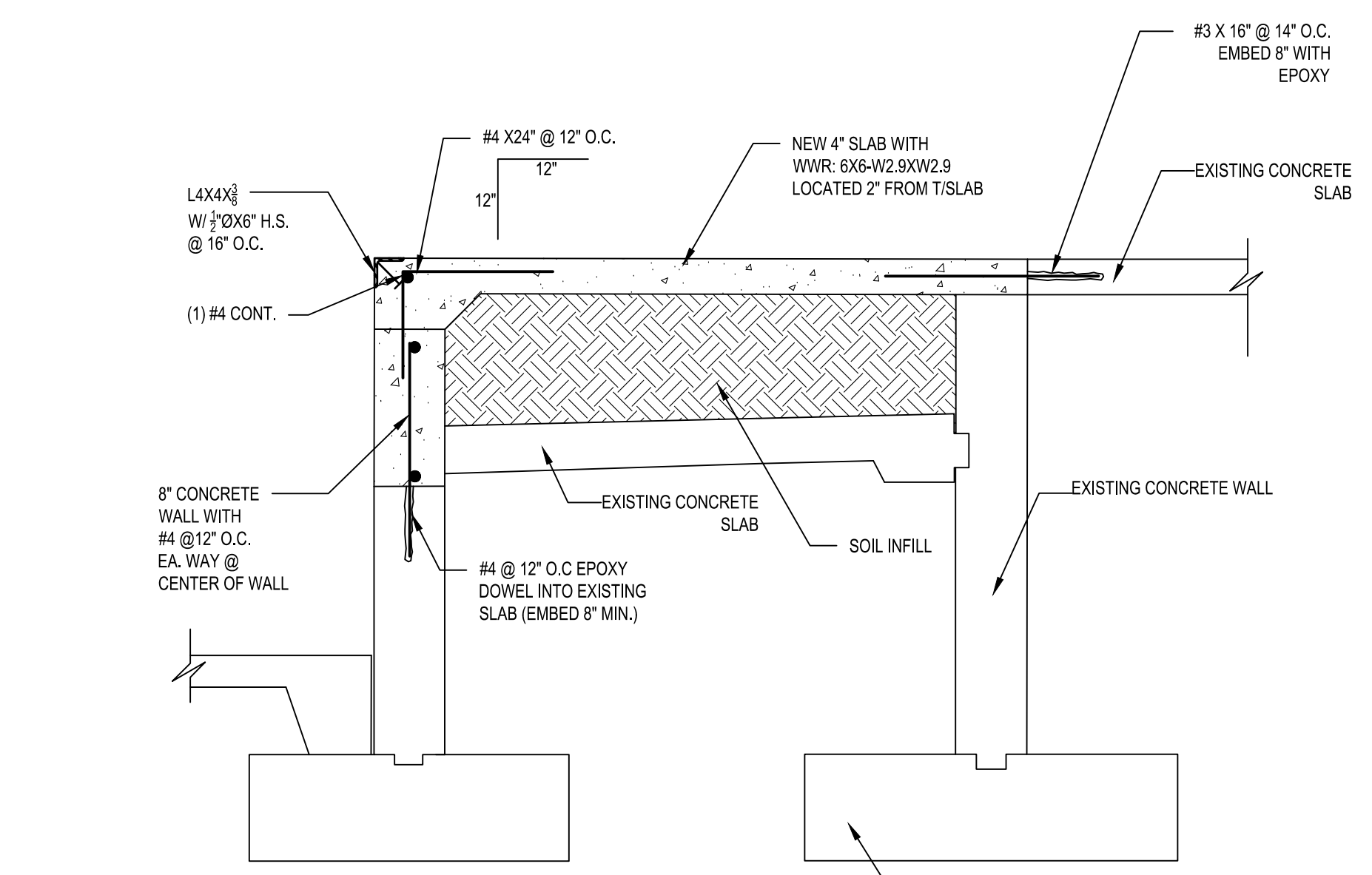
- C. STRUCTURAL STEEL AND MISCELLANEOUS STEEL:**
- ALL STRUCTURAL STEEL CONSTRUCTION SHALL CONFORM TO "SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS" AISC 16TH EDITION.
 - SHOP DRAWINGS PREPARED IN ACCORDANCE WITH "STRUCTURAL STEEL DETAILING MANUAL" AISC LATEST EDITION, SHALL BE SUBMITTED FOR REVIEW. NO FABRICATION SHALL BEGIN UNTIL SHOP DRAWINGS ARE COMPLETED AND REVIEWED BY STRUCTURAL ENGINEER.
 - STRUCTURAL STEEL BEAM W-SHAPES - ASTM A992.
STRUCTURAL STEEL MISCELLANEOUS PLATES, BARS, ANGLES - ASTM A36/A36M.
STRUCTURAL STEEL TUBING SHALL CONFORM TO ASTM A500 - GRADE C.
 - CONNECTIONS MAY BE WELDED OR BOLTED. BOLTED CONNECTIONS WILL BE ASSEMBLED AND INSPECTED ACCORDING TO "SPECIFICATIONS FOR STRUCTURAL JOINTS USING ASTM A325 OF ASTM A490 BOLTS". CHECK 10% OF ALL BOLTS BUT NOT LESS THAN 2 PER CONNECTION. HOLE SIZE SHALL BE IN ACCORDANCE WITH AISC SPECIFICATION FOR BEARING CONNECTIONS AND BOLTS SHALL BE TIGHTENED TO SNUG-TIGHT CONDITION. DURING ERECTION, STRUCTURAL STEEL SHALL BE SECURED FROM COLLAPSING WITH TEMPORARY BRACING. WHERE EXPANSION ANCHORS ARE SPECIFIED, THE CONTRACTOR SHALL SUBMIT TO THE STRUCTURAL ENGINEER MANUFACTURER'S LITERATURE DESCRIBING THE ANCHORS AND LISTING RECOGNIZED ALLOWABLE SHEAR AND TENSION VALUES. WELDING SHALL BE IN ACCORDANCE WITH "STRUCTURAL WELDING CODE" BY AMERICAN WELDING SOCIETY PERFORMED BY A CERTIFIED WELDER. ANCHOR BOLTS F1554 U.N.O.
 - ALL STRUCTURAL STEEL EXPOSED TO WEATHER SHALL BE GALVANIZED, INCLUDES BUT NOT LIMITED TO ALL BRICK SUPPORT ANGLES.
 - INSPECTION AND TESTING OF WELDING SHALL CONFORM TO AWS D1.1 - LATEST EDITION. ALL WELDS TO BE VISUALLY INSPECTED PER TABLE 6.1. PROOF OF WELDER CERTIFICATION SHALL BE AVAILABLE ON SITE.

- D. DESIGN LOADS:**
- LIVE LOADS:

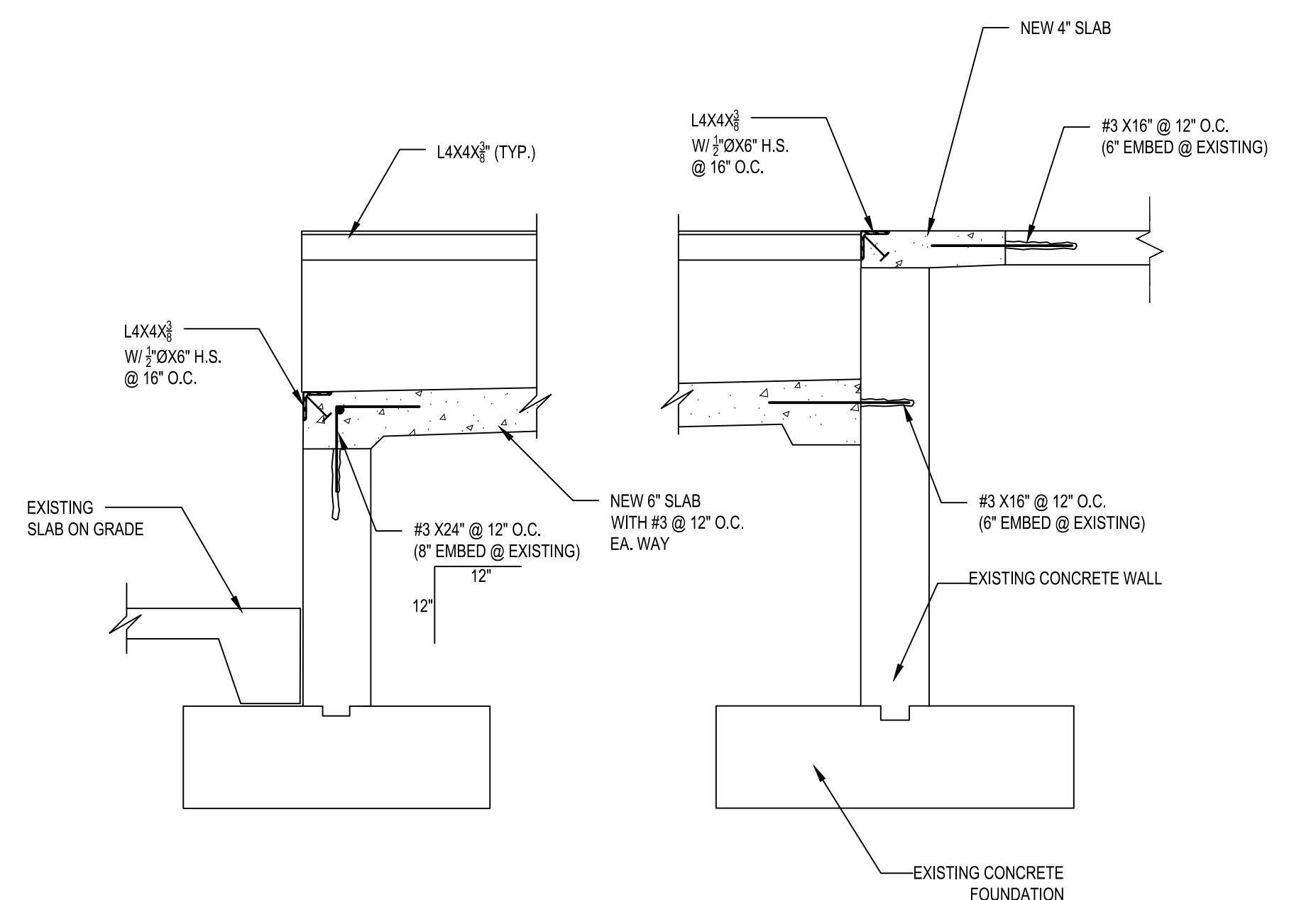
20 PSF - ROOF	20 PSF - ROOF (SUPERIMPOSED)
80 PSF - RESTROOMS	50 PSF - 8" CMU WALLS
100 PSF - STAIRS AND EXIT WAYS	40 PSF - 4" BRICK WALLS
	8 PSF - GLAZING
	10 PSF - METAL STUD WALLS
 - DEAD LOADS
 - CONCENTRATED LIVE LOAD = 1000 LBS.
LIVE LOAD REDUCTION PER IBC 1607.9.1
 - WIND LOADS
 - WIND SPEED: EXISTING STRUCTURE
 - SEISMIC DESIGN PARAMETERS
RISK CATEGORY: EXISTING STRUCTURE
SITE CLASS: EXISTING STRUCTURE
SEISMIC DESIGN CATEGORY: EXISTING STRUCTURE
SEISMIC FORCE RESISTING SYSTEM: EXISTING STRUCTURE
BASE SHEAR: EXISTING STRUCTURE
 - DESIGN AND CONSTRUCTION SHALL CONFORM TO INTERNATIONAL BUILDING CODE - 2018 EDITION AND ALL GEORGIA AMENDMENTS.

- E. FOUNDATION NOTES:**
- LOWER FLOOR TOP OF SLAB ELEVATION = REF. EL. 0'-0" U.N.O. (M.S.L. +836.00.0')
SLAB-ON-GRADE SHALL BE 4" THICK MINIMUM CONCRETE ON GRADE, REINFORCE WITH WWR-6X6-W2.3X2.3 MATERIALS CLASSIFIED BY THE UNIFIED SOIL CLASSIFICATION SYSTEM AS SM, SP, HL, SC, OR CL ARE SUITABLE FOR STRUCTURAL FILL FOR THIS RESIDUAL SOILS AND MOST FILL MATERIALS ENCOUNTERED IN THE BORINGS WILL GENERALLY BE SUITABLE FOR REUSE STRUCTURAL FILL. STRUCTURAL FILL SHALL BE PLACED IN LOOSE LIFTS NO GREATER THAN 8 INCHES THICK COMPACTED TO AT LEAST 85% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR TEST (ASTM D-698). THE TOP ONE-FOOT OF FILL BENEATH SLABS SHOULD BE COMPACTED TO AT LEAST 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY.
 - WALL FOOTINGS ARE DESIGNED TO BEAR ON NATURAL GRADE OR FILL AND ARE DESIGNED FOR AN ALLOWABLE SOIL BEARING PRESSURE OF 2,000 PSF

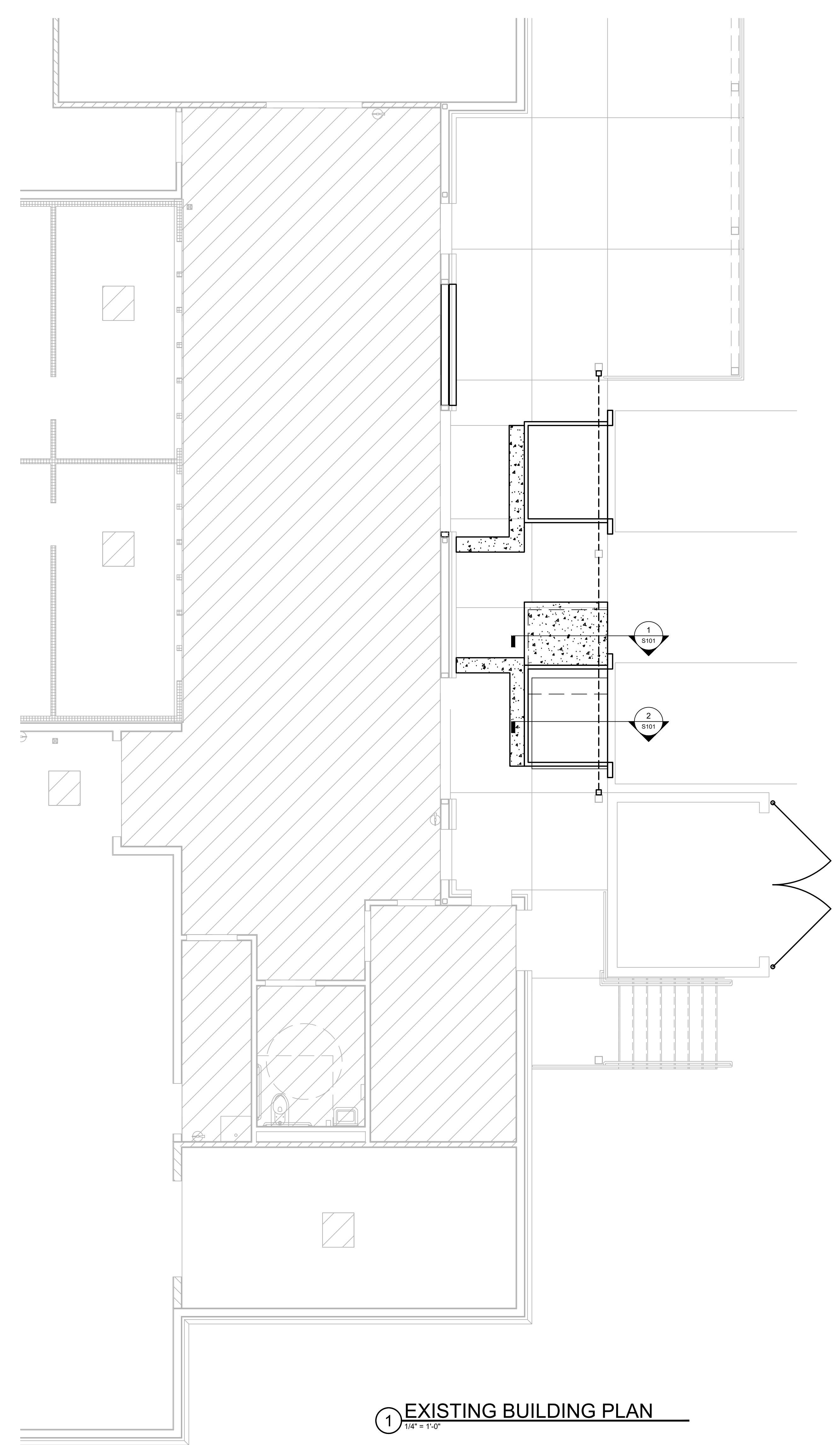
- F. COLD FORM STEEL FRAMING (CFSF):**
- ALL NEW EXTERIOR WALL METAL STUDS SHALL BE 600S-162-34 @ 16" O.C. WITH CONTINUOUS TRACK 600T125-54 AT TOP AND BOTTOM OF VERTICAL WALL STUDS.
 - CONNECT WALL STUDS TO CONCRETE SLAB WITH (1) 157" Ø X1-1/4" PAF @ 12" O.C. .CONNECT TRACK TO STEEL FRAMING WITH (1) .157"ØX1 1/2" PAF @ 12" O.C. CONNECT STUD TO STUD WITH (1) #10 SCREW EACH FLANGE.



1 SECTION
1/4" = 1'-0"



2 SECTION
1/4" = 1'-0"

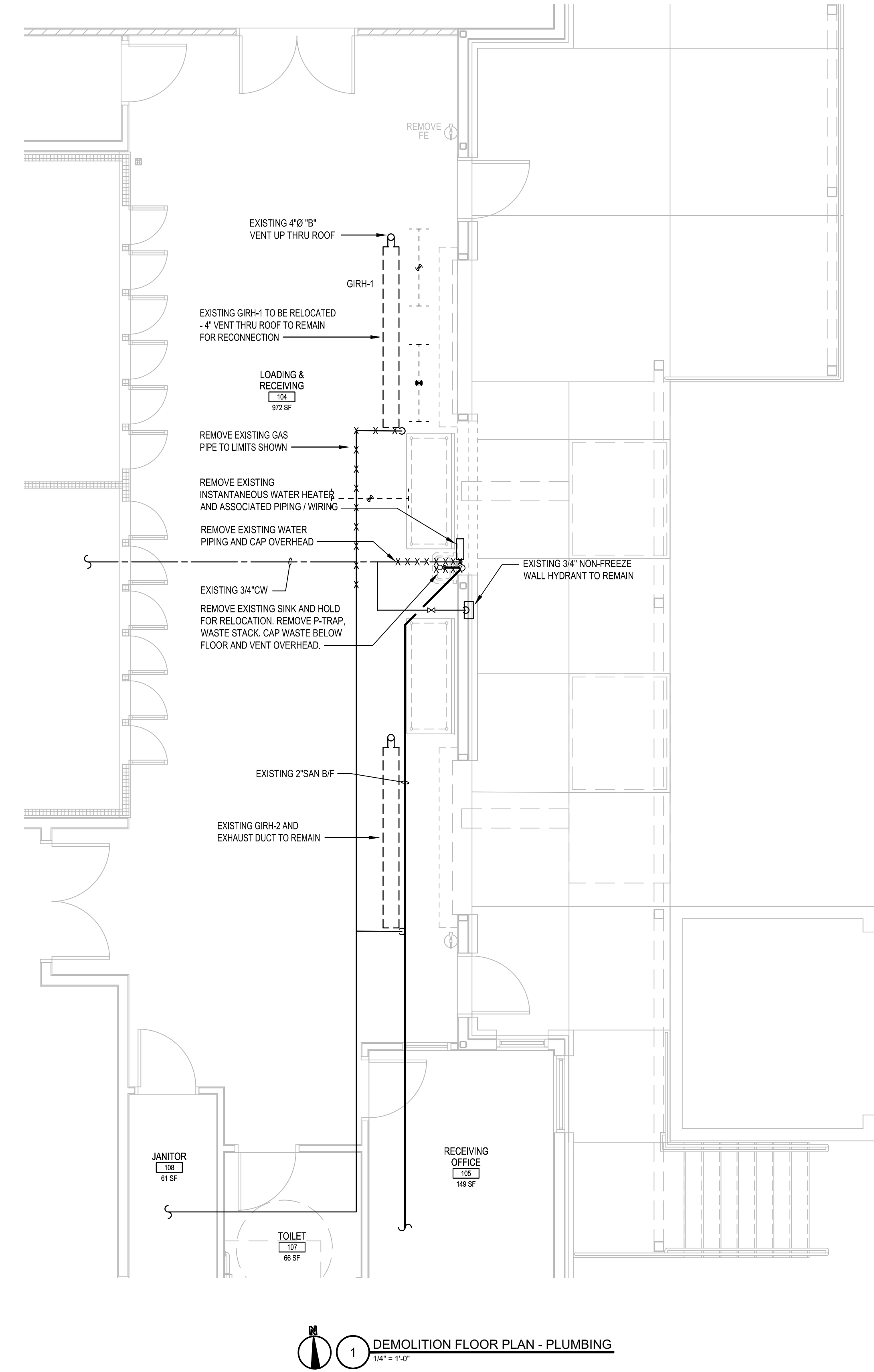
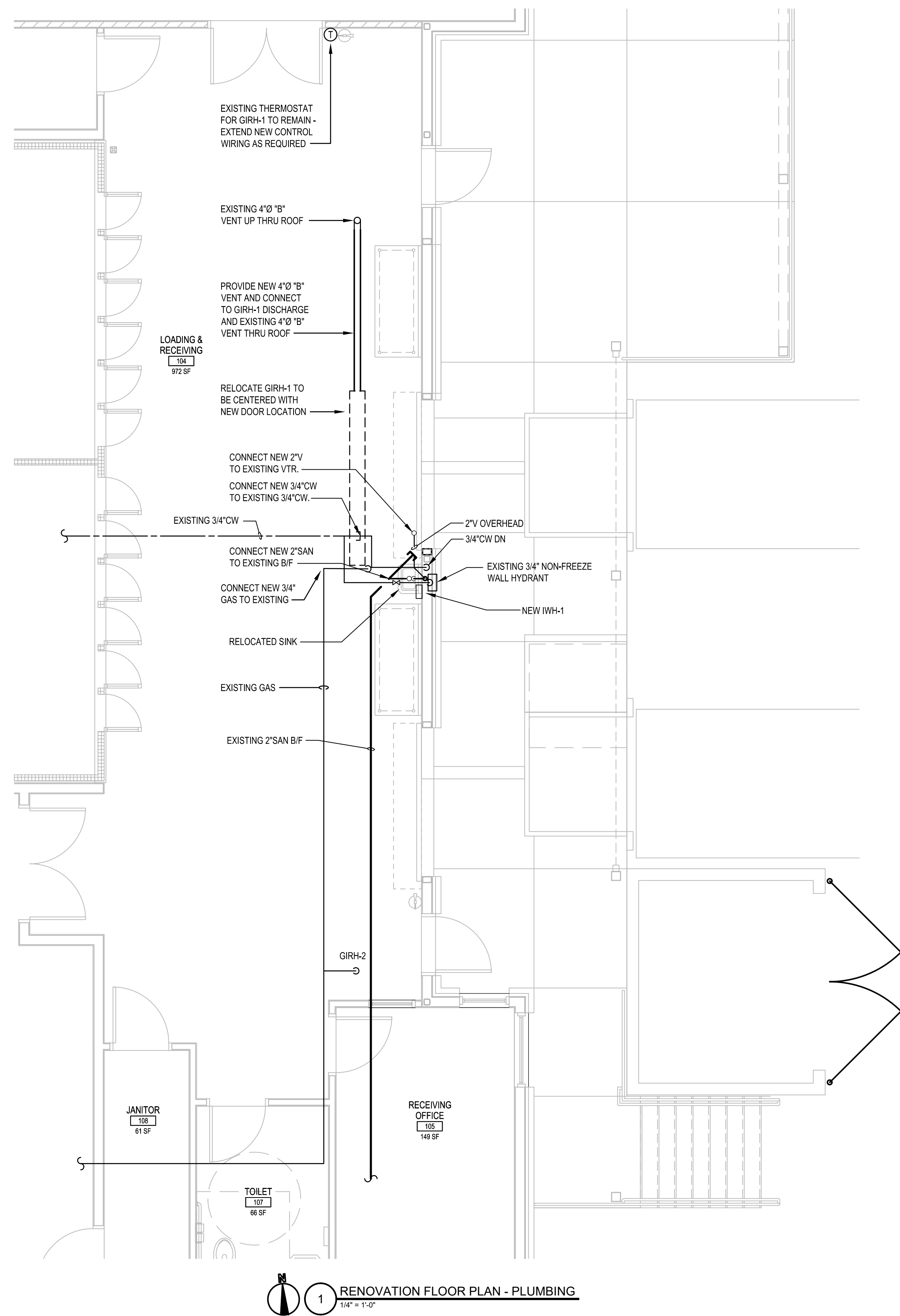


1 EXISTING BUILDING PLAN
1/4" = 1'-0"

EDITION:

ISSUE	DATE
SCHEMATIC	10-30-2023
PERMIT SET	12-22-2023
BID SET	03-01-2024

DRAWN BY: Author
CHECKED BY: Checker



WATER HEATER SCHEDULE											
MK	STORAGE GALLONS	MANUFACTURER	MODEL NO.	RECOVERY		GAS INPUT	GAS PRESS.	TEMP. SETTING	ELECTRICAL		REMARKS
				GPH	DEG. RISE				VOLTS	PHASE	
IWH-1	-	CHROMOMTE	S894	-	-	-	-	110	208	1	4600 WATTS ① ②

① MINIMUM FLOW OF 0.5 GPM ② APPROVED EQUALS



EDITION:

ISSUE	DATE
SCHEMATIC	10-30-2023
PERMIT SET	12-22-2023
BID SET	03-01-2024

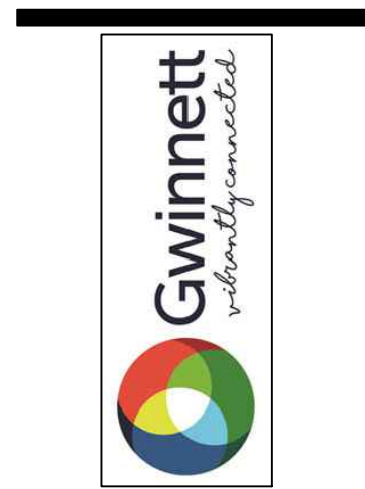
DRAWN BY: _____
 CHECKED BY: _____

**GWINNETT COUNTY
 SENIOR SERVICES CENTER
 LOADING DOCK RENOVATION**

**PLUMBING
 DEMOLITION AND
 RENOVATION PLAN**

CURRENT REV. DATE:

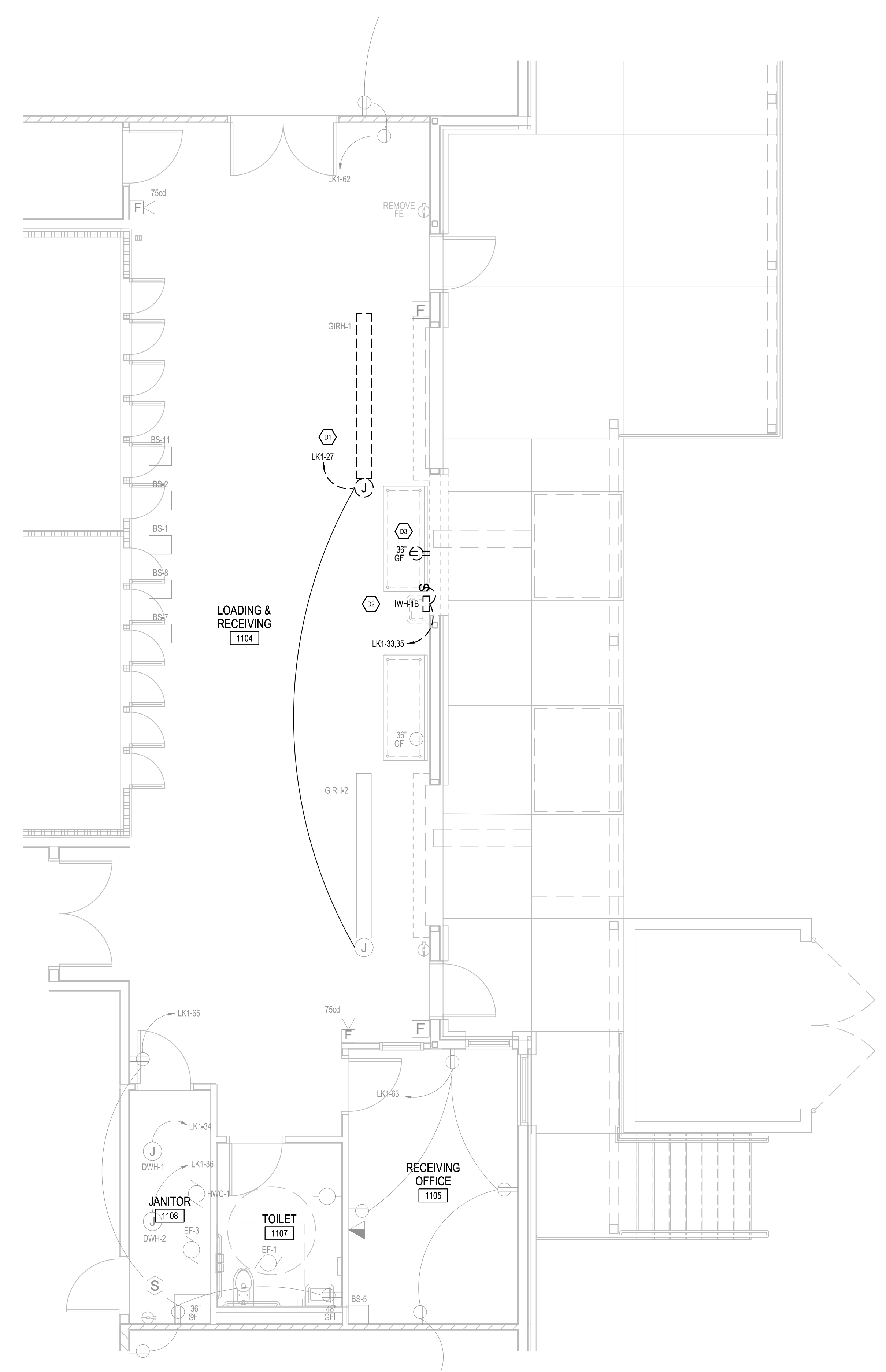
PROJECT NO.: 223072



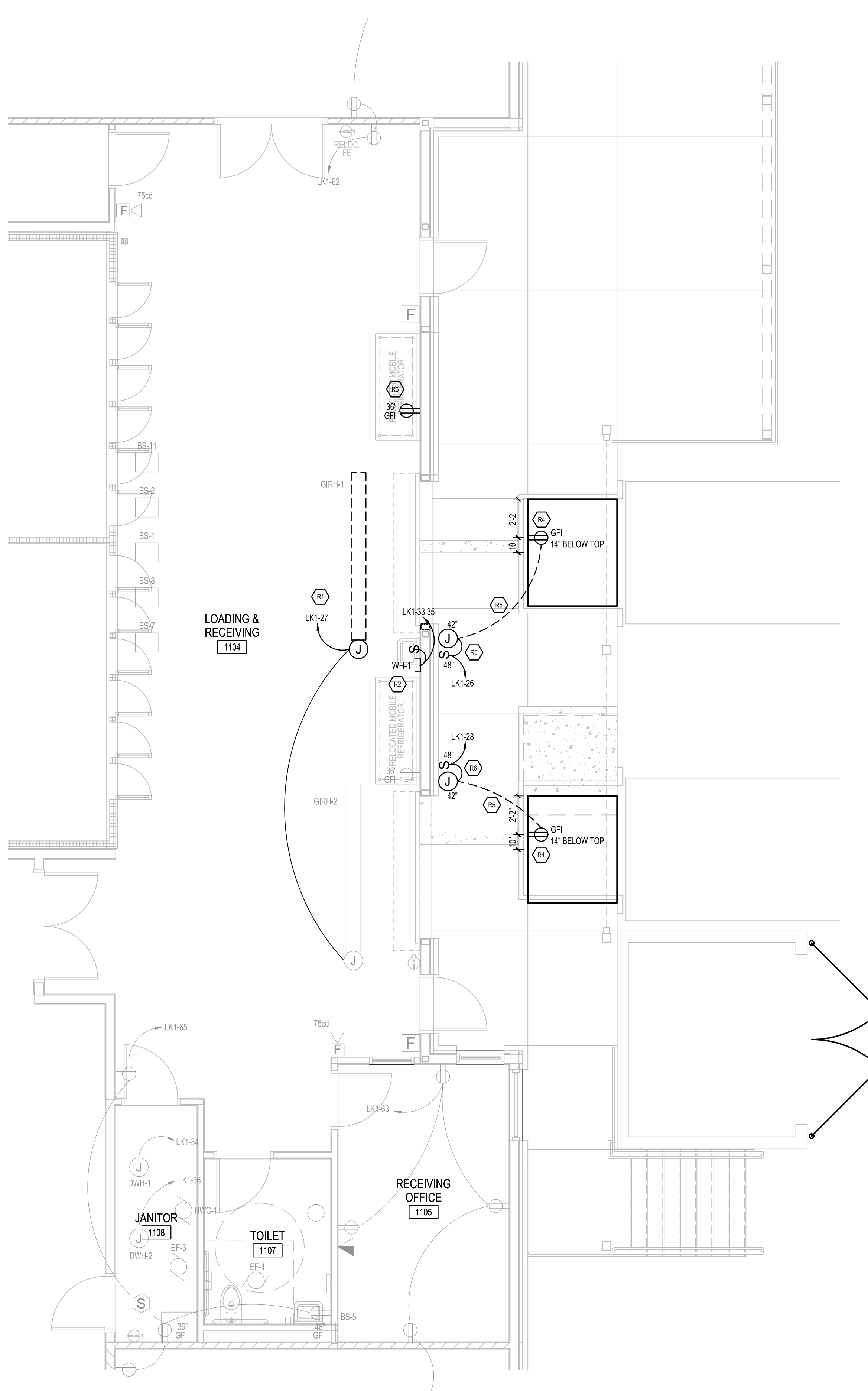
EDITION:

ISSUE	DATE
SCHEMATIC	10-30-2023
PERMIT SET	12-22-2023
BID SET	03-01-2024

DRAWN BY:	Author
CHECKED BY:	Checker

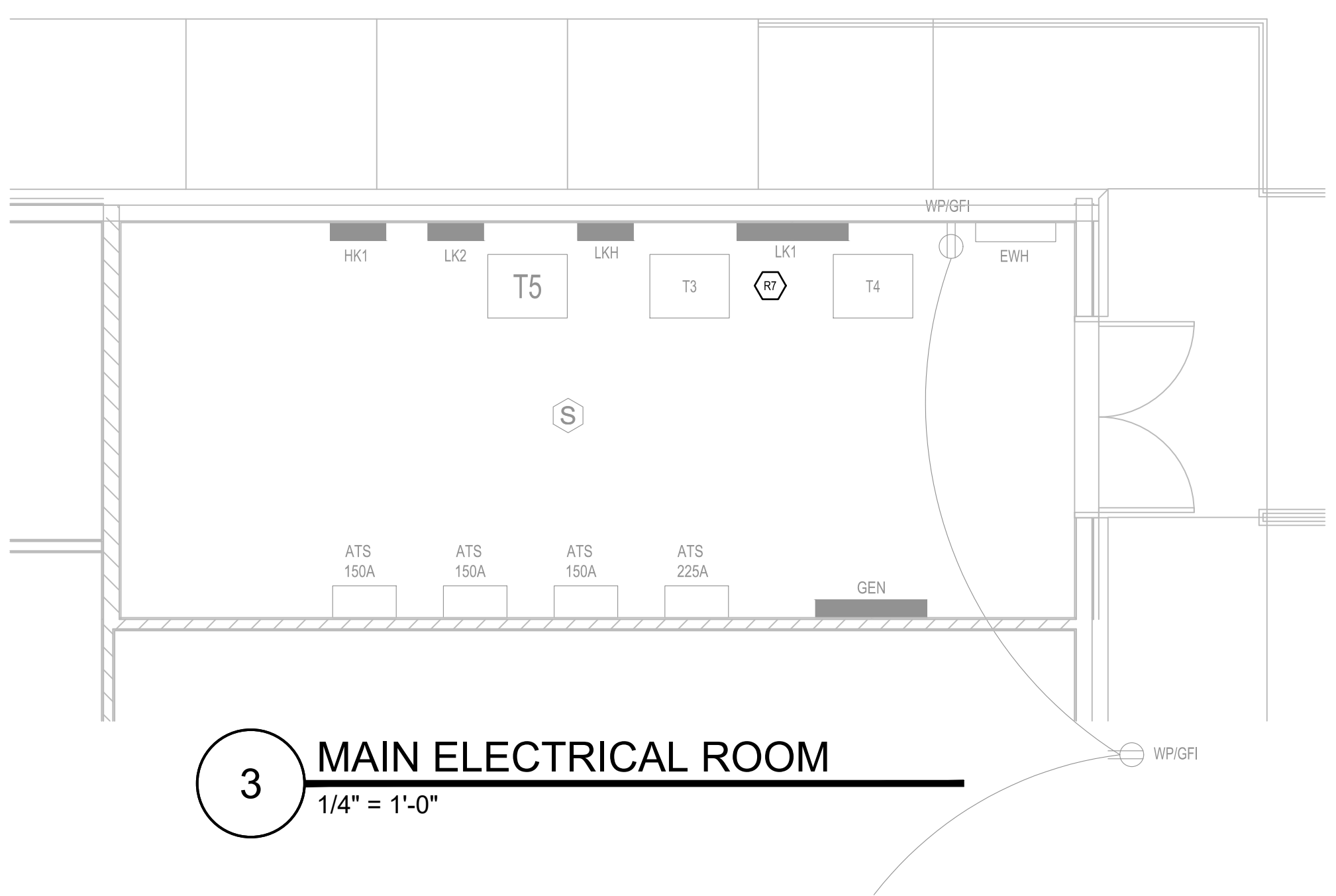


1 POWER DEMOLITION FLOOR PLAN
 1/4" = 1'-0"



2 POWER RENOVATION FLOOR PLAN
 1/4" = 1'-0"

GWINNETT COUNTY
 SENIOR SERVICES CENTER
 LOADING DOCK RENOVATION



3 MAIN ELECTRICAL ROOM
 1/4" = 1'-0"

DEMOLITION KEYED NOTES:

- D1 HEATER TO BE RELOCATED. DISCONNECT POWER FROM EXISTING HEATER. KEEP CONDUIT AND WIRING IN PLACE. HEATER TO BE RELOCATED PER RENOVATION PLAN ON THIS SHEET.
- D2 WALL TO BE DEMOLISHED. DISCONNECT POWER AND REMOVE MOTOR RATED SWITCH FOR INSTANTANEOUS WATER HEATER. REMOVE JUNCTION BOX AND CONDUIT IN WALL FOR NEW ROLL UP DOOR LOCATION. NEW WATER HEATER TO BE INSTALLED PER RENOVATION PLAN ON THIS SHEET.
- D3 WALL TO BE DEMOLISHED. DEMOLISH EXISTING RECEPTACLE FOR FREEZER. REMOVE JUNCTION BOX AND CONDUIT IN WALL FOR NEW ROLL UP DOOR LOCATION. PROVIDE NEW RECEPTACLE PER RENOVATION PLAN ON THIS SHEET.

LEGEND: (APPLIES TO DEMOLITION)

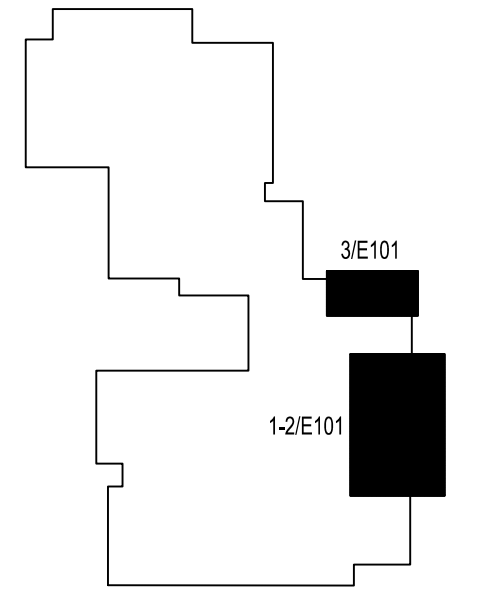
	EXISTING ELECTRICAL TO REMAIN
	EXISTING ELECTRICAL TO BE DEMOLISHED

GENERAL NOTES: (APPLIES TO ALL ELECTRICAL SHEETS)

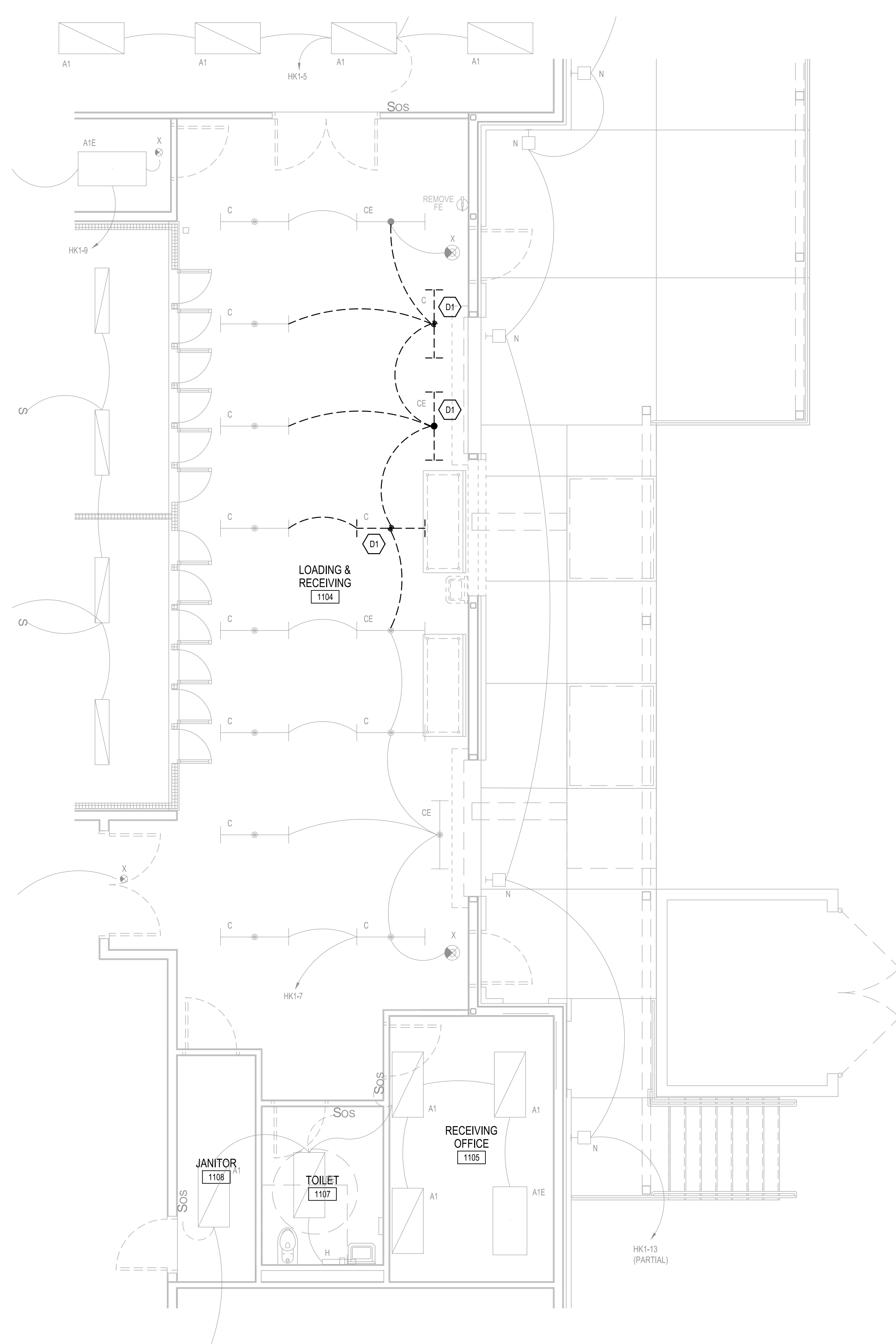
- EQUIPMENT, DEVICE, OR BRANCH CIRCUITING GREYED OUT INDICATES EXISTING TO REMAIN SHOWN ON THIS PLAN FOR REFERENCE ONLY.
- CONTRACTORS TO COORDINATE WITH OWNER IN THE FIELD FOR REPLACEMENT PRODUCTS, DEVICES AND EQUIPMENT THAT ARE TO BE SALVAGED. DEMOLITION PRODUCTS, DEVICES AND EQUIPMENT NOT CLAIMED BY THE OWNER SHALL BE REMOVED FROM SITE AND DISPOSED OF PROPERLY IN ACCORDANCE WITH LOCAL, STATE AND NATIONAL REQUIREMENTS.
- WIRING ENTERING AND LEAVING THE DEMOLITION AREA MAY SERVE EQUIPMENT OR SYSTEMS NOT IN THE DEMOLITION AREA. EQUIPMENT OR SYSTEMS NOT IN THE DEMOLITION AREA SHALL REMAIN IN SERVICE AT ALL TIMES.
- CONTRACTOR PROPOSING TO UNDERTAKE WORK UNDER THIS DIVISION SHALL VISIT THE SITE OF THE WORK AND FULLY INFORM THEMSELVES OF ALL CONDITIONS THAT AFFECT THE WORK OR COST THEREOF, AND EXAMINE THE DRAWINGS AS RELATED TO THE SITE CONDITIONS, PRIOR TO SUBMITTING HIS PROPOSAL FOR WORK.
- MAKE NECESSARY MODIFICATIONS AND ADJUSTMENTS TO ALL ELECTRICAL ITEMS AND EQUIPMENT. BOTH NEW AND EXISTING AS MAY BE REQUIRED BY DEMOLITION, ALTERATION AND ADDITION.
- RESTORE WALL AND CEILING SURFACES AND FINISHES TO MEET OR EXCEED THE EXISTING SURROUNDS. BLANK COVER PLATES OVER WALL AND CEILING OPENINGS WILL NOT BE ALLOWED EXCEPT WHERE INDICATED.
- WHERE EXISTING CONDUITS HAVE BEEN MADE OBSOLETE BY THESE ALTERATIONS AND ADDITIONS, AND ITS IS IMPRACTICAL TO REMOVE SOME, THE CONTRACTOR SHALL:
 - 7.1. PULL OUT ALL WIRE AND CABLE.
 - 7.2. CUT AND SEAL CONDUIT OFF AT WALL LINE.
 - 7.3. BLANK OUT ALL OBSOLETE CONDUIT ENTRIES INTO EXISTING CABINETS, ENCLOSURES, JUNCTION BOXES, PANELBOARDS, PULL BOXES, WIREWAYS, OUTLET BOXES, ETC.
- UPON COMPLETION OF THE PROJECT, CONTRACTOR SHALL UPDATE ALL CIRCUIT DIRECTORIES FOR ALL PANELBOARDS. LABEL ALL ABANDONED CIRCUITS AS 'SPARE' AND TURN BREAKER TO OFF POSITION. DIRECTORY SHALL BE TYPED WRITTEN, INDICATING THE SERVICE CONTROLLED BY EACH CIRCUIT. HAND WRITTEN IS NOT ACCEPTABLE. A CIRCUIT DIRECTORY WITH METAL FRAME AND GLASSINE PAGE SHALL BE PROVIDED ON THE SIDE OF THE PANELBOARD INSIDE DOOR.

RENOVATION KEYED NOTES:

- R1 RECONNECT POWER TO RELOCATED HEATER. REUSE EXISTING BRANCH CIRCUIT AND EXTEND WIRING AS NEEDED.
- R2 RECONNECT POWER TO NEW INSTANTANEOUS WATER HEATER. REUSE EXISTING BRANCH CIRCUIT. EXTEND WIRING AND CONDUIT TO NEW LOCATION.
- R3 PROVIDE NEW GFCI RECEPTACLE FOR POWER TO EXISTING FREEZER. REUSE EXISTING BRANCH CIRCUIT. EXTEND WIRING AND CONDUIT TO NEW LOCATION.
- R4 INSTALL GFCI OUTLET INSIDE 4"x4" RECESSED JUNCTION BOX FOR POWER TO DOCK LEVELERS. LOCATED 10" OFF OF CENTERLINE AND MOUNT 14" BELOW TOP OF PIT WALL TO CENTERLINE OF OUTLET.
- R5 ROUTE 34°C AND #10 WIRE INSIDE CONCRETE SLAB OUT FROM DOCK LEVELER OUTLET TO INTERIOR WALL FOR POWER AND CONTROL.
- R6 PROVIDE 30/30/1 NEMA 1 DISCONNECT WITH CONTROL CABINET BELOW FOR DOCK LEVELER CONTROL. PROVIDE NEW 30A/1 BREAKER INSIDE PANEL LK1 SPACE AND CIRCUIT AS SHOWN.
- R7 LOCATION OF PANEL LK1 INSIDE MAIN ELECTRICAL ROOM SHOWN FOR REFERENCE ONLY.



POWER DEMOLITION AND RENOVATION PLAN
 SENIOR SERVICES LOADING DOCK
 587 SWANSON DRIVE, LAWRENCEVILLE, GA 30046



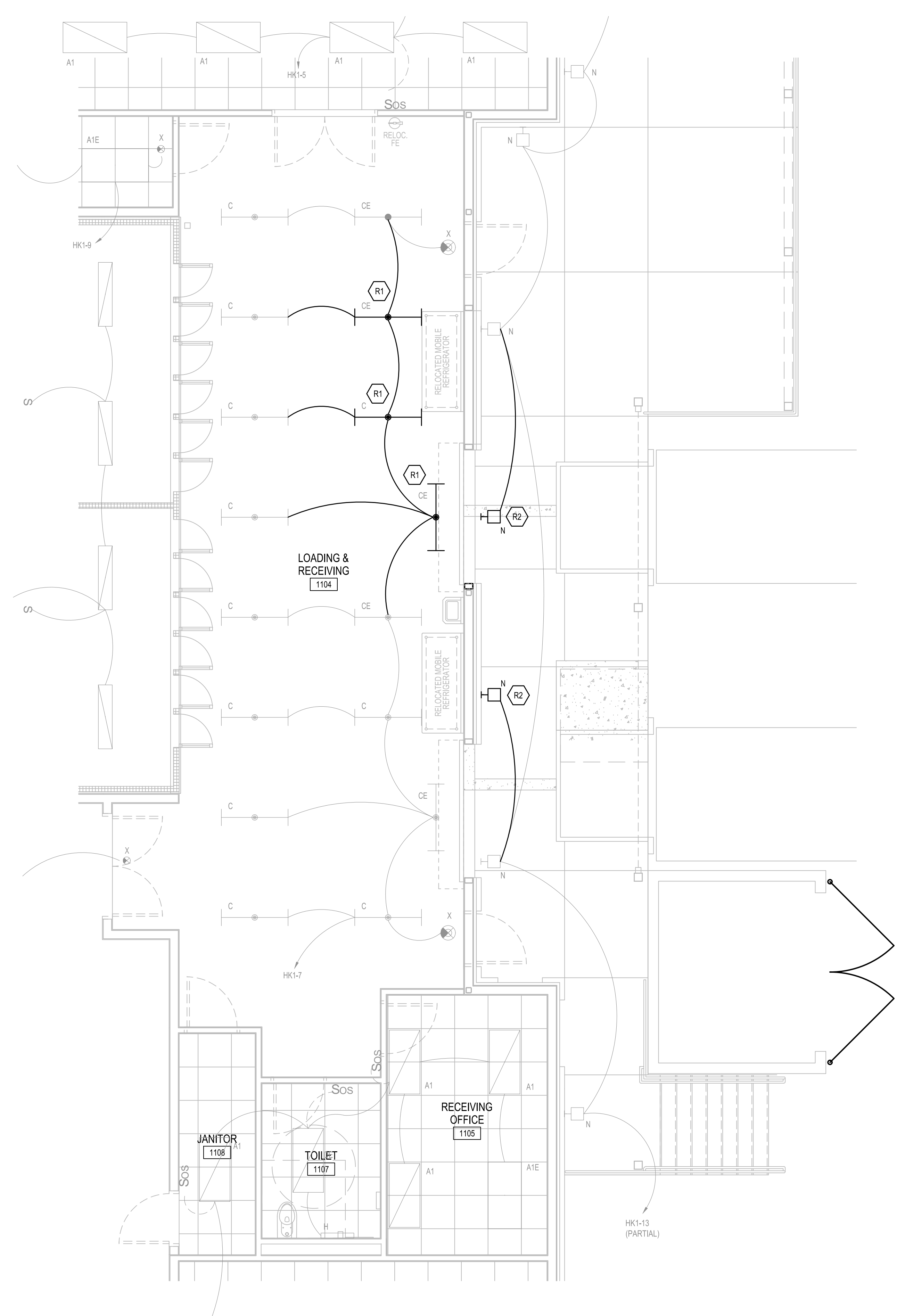
1 LIGHTING DEMOLITION FLOOR PLAN
1/4" = 1'-0"

DEMOLITION KEYED NOTES:

(D1) DISCONNECT EXISTING LIGHT FIXTURES SHOWN. KEEP ALL WIRING AND CONDUITS FOR POWER AND CONTROL IN PLACE FOR CONNECTION TO NEW LIGHTS. LIGHTS TO BE RELOCATED PER RENOVATION PLAN ON THIS SHEET.

LEGEND: (APPLIES TO DEMOLITION)

	EXISTING ELECTRICAL TO REMAIN
	EXISTING ELECTRICAL TO BE DEMOLISHED



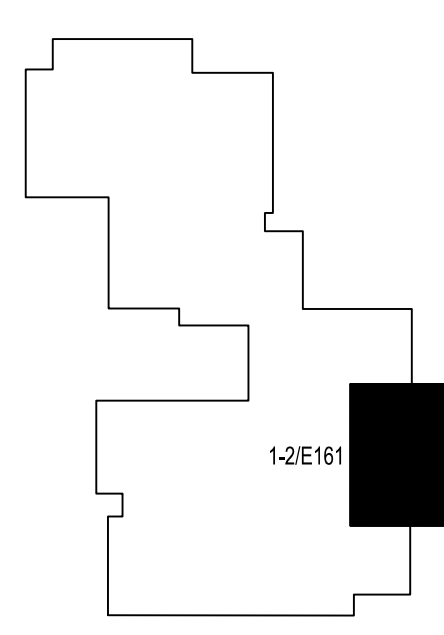
2 LIGHTING RENOVATION FLOOR PLAN
1/4" = 1'-0"

GENERAL NOTES: (APPLIES TO ALL ELECTRICAL SHEETS)

- EQUIPMENT, DEVICE, OR BRANCH CIRCUITING GREYED OUT INDICATES EXISTING TO REMAIN SHOWN ON THIS PLAN FOR REFERENCE ONLY.
- CONTRACTORS TO COORDINATE WITH OWNER IN THE FIELD FOR REPLACEMENT PRODUCTS, DEVICES AND EQUIPMENT THAT ARE TO BE SALVAGED. DEMOLITION PRODUCTS, DEVICES AND EQUIPMENT NOT CLAIMED BY THE OWNER SHALL BE REMOVED FROM SITE AND DISPOSED OF PROPERLY IN ACCORDANCE WITH LOCAL, STATE AND NATIONAL REQUIREMENTS.
- WIRING ENTERING AND LEAVING THE DEMOLITION AREA MAY SERVE EQUIPMENT OR SYSTEMS NOT IN THE DEMOLITION AREA. EQUIPMENT OR SYSTEMS NOT IN THE DEMOLITION AREA SHALL REMAIN IN SERVICE AT ALL TIMES.
- ALL BRANCH CIRCUITS FOR LIGHTING ARE EXISTING TO REMAIN FOR CONNECTION TO NEW LIGHTS. REFER TO LIGHTING PLANS FOR ADDITIONAL INFORMATION.
- CONTRACTOR PROPOSING TO UNDERTAKE WORK UNDER THIS DIVISION SHALL VISIT THE SITE OF THE WORK AND FULLY INFORM THEMSELVES OF ALL CONDITIONS THAT AFFECT THE WORK OR COST THEREOF, AND EXAMINE THE DRAWINGS AS RELATED TO THE SITE CONDITIONS, PRIOR TO SUBMITTING HIS PROPOSAL FOR WORK.
- MAKE NECESSARY MODIFICATIONS AND ADJUSTMENTS TO ALL ELECTRICAL ITEMS AND EQUIPMENT, BOTH NEW AND EXISTING AS MAY BE REQUIRED BY DEMOLITION, ALTERATION AND ADDITION.
- RESTORE WALL AND CEILING SURFACES AND FINISHES TO MEET OR EXCEED THE EXISTING SURROUNDS. BLACK COVER PLATES OVER WALL AND CEILING OPENINGS WILL NOT BE ALLOWED EXCEPT WHERE INDICATED.
- WHERE EXISTING CONDUITS HAVE BEEN MADE OBSOLETE BY THESE ALTERATIONS AND ADDITIONS, AND ITS IS IMPRACTICAL TO REMOVE SOME, THE CONTRACTOR SHALL:
 - PULL OUT ALL WIRE AND CABLE.
 - CUT AND SEAL CONDUIT OFF AT WALL LINE.
 - BLANK OUT ALL OBSOLETE CONDUIT ENTRIES INTO EXISTING CABINETS, ENCLOSURES, JUNCTION BOXES, PANELBOARDS, PULL BOXES, WIREWAYS, OUTLET BOXES, ETC.
- ALL EXISTING LIGHTING FIXTURES, FIRE ALARM DEVICES, CONDUITS, CONDUCTORS, AND OTHER ELECTRICAL DEVICES SHALL REMAIN IN AREAS WHERE NO WORK IS SHOWN.

RENOVATION KEYED NOTES:

- (R1) RELOCATE AND REORIENT EXISTING LIGHT FIXTURES AS SHOWN. RECONNECT TO EXISTING BRANCH CIRCUIT AND CONTROL. EXTEND BRANCH CIRCUIT TO LIGHT FIXTURES IF NEEDED.
- (R2) INSTALL NEW LED WALL PACK FIXTURE TYPE 'N' AS SHOWN, CONNECT TO EXISTING CIRCUIT AS SHOWN. FIXTURE TYPE AND MOUNTING HEIGHT TO MATCH EXISTING TYPE 'N'.



EDITION:

ISSUE	DATE
SCHEMATIC	10-30-2023
PERMIT SET	12-22-2023
BID SET	03-01-2024

DRAWN BY: _____
CHECKED BY: _____

**GWINNETT COUNTY
SENIOR SERVICES CENTER
LOADING DOCK RENOVATION**

**LIGHTING DEMOLITION AND RENOVATION PLAN
SENIOR SERVICES LOADING DOCK**
577 SWANSON DRIVE, LAWRENCEVILLE, GA 30046

CURRENT REV. DATE:

PROJECT NO.: 223072

E161