

VIEW POINT HEALTH | Crisis Stabilization Unit Addition SCHEMATIC DESIGN PRICING PLANS

ISSUE RECORD

NUMBER	DATE	ISSUE REVISION
1	010824	Design Options
2	011524	Pricing Scope

PROJECT

BUILDING ADDITION |

VIEW POINT HEALTH

615 Lawrenceville-Suwanee Road
Lawrenceville, GA 30046
Gwinnett County

OWNERSHIP |

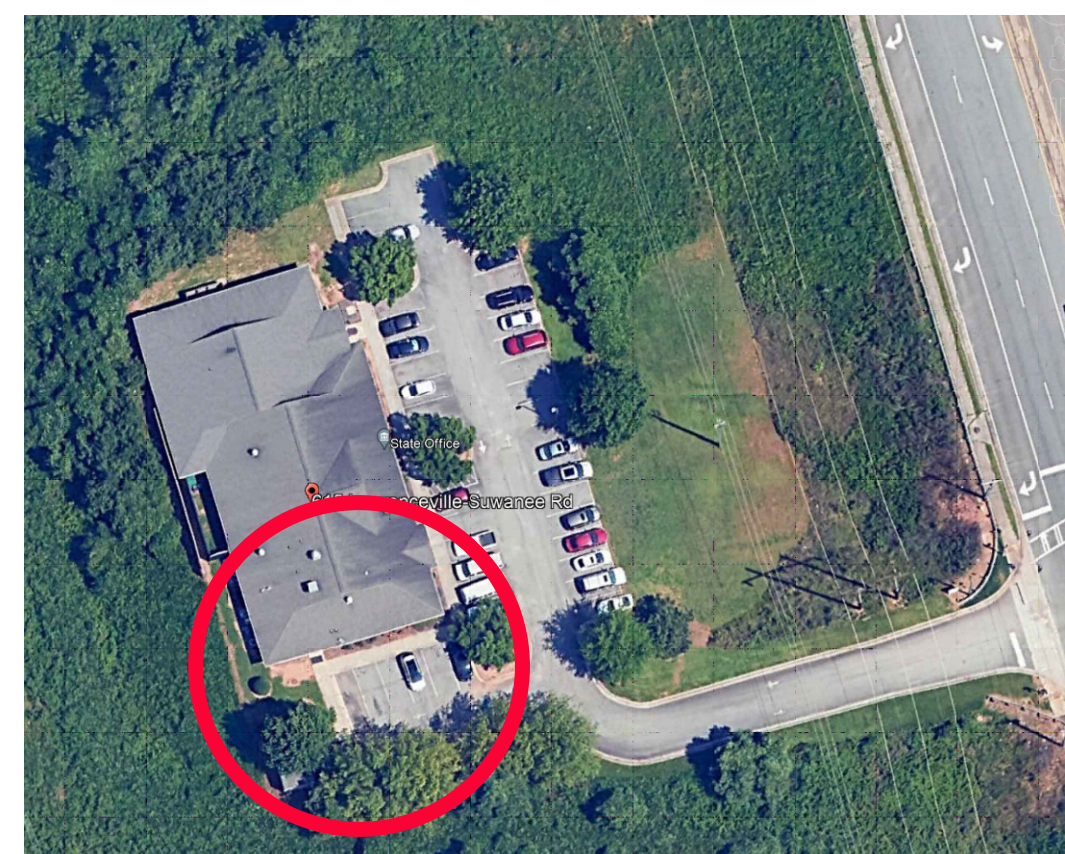
VIEW POINT HEALTH

Post Office Box 687
Lawrenceville, GA 30046

GENERAL CONTRACTOR |

AMO CONSTRUCTION, LLC

330 Farmers Court
Suite A
Lawrenceville, GA 30046



PROJECT | Aerial View



PROJECT NORTH

BASE PLAN & SURVEY ORIGIN

THIS PLAN AND ALL OTHER IMAGES HEREIN WERE PREPARED FROM DATA INCLUDING COMPUTER SCANNED IMAGES AND PLANS PROVIDED BY OTHERS. LIMITED FIELD VERIFICATION HAS BEEN PERFORMED. DATA & IMAGES WERE TAKEN FROM LIMITED PLANS PROVIDED BY THE PROPERTY OWNER AND PRIOR TENANTS.

POST OAK PARTNERS, LLC, et al, BELIEVES THIS DATA TO BE TRUE, CORRECT, & ACCURATE, HOWEVER, DOES NOT EXPRESS OR IMPLY ANY WARRANTIES WHATSOEVER AS TO THE ACCURACY OF SAME, OR TAKE RESPONSIBILITY FOR SAID DATA OR EXISTING CONDITIONS.

SCHEDULE OF DRAWINGS

CVR	Project Data Code Analysis
REN	Project Notes + Requirements
PNR	Design Concept Renderings
SCP	Project Scope Narrative
SUR	Survey CDS 100818
SITE	Site Plan Diagram Work Location
REF	Reference Photos
A0	Floor Plan Existing + Demo
A1	Floor Plan New Work @ Existing Building
A2	Elevations Existing + Demo
A3	Plan Composite
A4	Floor Plan Detail
A5	Elevations Proposed
A6	Roof Plan
A7	Anti-Ligature Components Sample Specifications
A7.1	Anti-Ligature Components Sample Specifications
A7.1	General Sample Selections
A8	ADA Compliant Details
A9	Area Room Use Chart + Requirements

TEAM

Design | Project Planning |

POST OAK PARTNERS, LLC
1205 Peachtree Parkway
Suite 1104
Cumming, GA 30041

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General Contractor

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Peter Oakes
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PROJECT DATA

A. Project Design Manager	Ron Hadaway Associate AIA, NCARB, ASLA T 770.689.6727 F 678.513.6044 r.hadaway@hdhpllc.com
B. Project Zoning	OI Office + Institutional - City Of Lawrenceville
C. Occupancy Classification	B Business - Health care + Office
D. Type of Construction	IBC 2018 Type II-B
E. Building Fire Sprinkler System	YES
F. Seismic: Hazard Exposure Group	N/A
G. Existing Space SF	9,340 SF
H. Addition Area	2,370 SF
TOTAL BUILDING AREA 11,710 SF	
I. Parking Required - 1 Space per 300 SF = 39 Spaces - Including 2 ADA Compliant H/C spaces	
J. Shell Building Permit Complete	N/A
K. Number of Buildings	1
L. Number of Floors	1
M. Occupancy	To Be Calculated For BUSINESS Classification
N. Modification to IBC Chapter 5	NO

DESIGN CONCEPT



IMPORTANT NOTE | The plan, images, and scope of work narrative contained herein are issued for the purposes of conveying the design concept for for an expansion of the View Point Health facility located at 615 Lawrenceville-Suwanee Road in Lawrenceville, GA.

The plans represent the the general placement, configuration, and exterior of the proposed addition to the existing building. These plan images + descriptions are NOT intended to be technical, construction, or permit documents; but simply to convey the design intent of the project.

The overall scope of improvements for the project are further described on Drawing **SCP**.

More detailed permit + construction documents will be provided by VIEW POINT HEALTH at the appropriate time.

CODE ANALYSIS | Per www.dca.stat.ga.us

All work described in these plans + scope shall be constructed in compliance with the following codes, as adopted | amended by the

- City of Lawrenceville | Building Department
- Gwinnett County FMO | Fire Marshals Office
- State Of Georgia | DCA

GEORGIA STATE MINIMUM STANDARD CODES

As of January 1, 2023

Current Mandatory Codes as Adopted by DCA

- International Building Code, 2018 Edition, with Georgia Amendments (2020)
- International Energy Conservation Code, 2015 Edition, with Georgia Supplements & Amendments (2020)
- International Fuel Gas Code, 2018 Edition, with Georgia Amendments (2020)
- International Mechanical Code, 2018 Edition, with Georgia Amendments (2020)
- International Plumbing Code, 2018 Edition, with Georgia Amendments (2020)
- International Residential Code, 2018 Edition, with Georgia Amendments (2020)
- International Property Maintenance Code, 2018*
- National Electrical Code, 2020 Edition (no Georgia Amendments)
- Georgia Fire Sprinkler Code 2019 Edition | NFPA 13 | Amended 2019



BUILDING ADDITION |

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CRISIS STABILIZATION UNIT

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DESIGN MANAGEMENT | ENGINEERING | PROJECT EXPERTISE

Post Oak Partners, LLC

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DRAWING



1 | Front Entrance View | ADA accessibility



2 | Rear - Service Entrance View



3 | Front Facade View



4 | Site Overview

CONTRACTOR NOTES

WORK & TRADE RESPONSIBILITIES:

The General Contractor shall:

1. Review and coordinate the work requirements as set forth in the drawings before beginning of work
2. Work completed and found to be in conflict/non-conformance with the requirements set forth on drawings, applicable codes, manufacturers specifications and best work standards shall be corrected by contractor at no additional cost to owner.
3. Verify that all utility requirements of tenant space operating equipment are compatible with base building utility provisions.
4. Coordinate the work of all trades having interdependent responsibilities for system & material installation work.
5. Verify location & size of all conduit, peripheral equipment bases, pads, electrical routings, plumbing, drain lines, HVAC/mechanical components, and clearances in full compliance with manufacturers specifications and applicable codes.
7. Comply with and complete work per all OWNER approved shop drawings.

GENERAL REQUIREMENTS

The contractor shall be responsible for the following items, as is normally included in the course of work:

PERMITTING

Contractor is responsible for obtaining licenses and permits required for project work. Contractor shall complete work and obtain all required sign offs & approvals from agencies issuing permits, as required by code.

CODE COMPLIANCE

The contractor is solely responsible for absolute and strict compliance with ALL applicable building, development, zoning, safety (OSHA), and environmental codes.

MATERIAL | EXISTING BUILDING + SITE PROTECTION

Contractor is responsible for complete protection of all existing and new work for the term of the project.

This shall include opened wall & roof cavities, proper dry in of new work, and prevention of moisture penetration, intrusion and entrapment into all areas of existing and new work, including, but not limited to the following (*As may apply to this project*):

- Site
- Prepared grades
- Paving | Concrete | asphalt | architectural paving
- Site components
- Adjacent site + building improvements
- Building + interior components | assemblies | systems
- Soils
- Foundations & footings
- Foundation walls
- Masonry walls
- Wood frame walls
- Metal/steel framed walls
- Sheathing
- Insulation systems (Roof, walls, floors, parapets)
- Wall assemblies
- Floor assemblies
- Ceiling assemblies
- Parapet walls
- Roof assemblies
- Roof coverings
- Cladding (Brick, CMU, cement board, shake, wood vinyl, stone)
- EIFS
- Utility areas, service points & appurtenances
- Vertical chases & penetrations
- M | E | P chases & enclosures
- Telecom chases & enclosures

Contractor shall provide weather protection adequate to meet all code and material manufacturer requirements and prevent growth of spores, mold and bacteria which may in any way adversely affect the safety, indoor air quality, ability of substrate to adhere to coatings & cladding, safety and general health of the building.

SHOP DRAWINGS

As may be required by owner, contractor shall provide and furnish shop drawings for items/systems/assemblies to owner for review and approval.

For systems requiring engineered shop /fabrication drawings (i.e. Roof, structural, M/E/P, telecom), contractor shall provide stamped/sealed/signed engineered drawings as required by code and permitting agency.

All shop/fabrication drawing must be approved by owner (or assigned agent) in writing.

DEMOLITION NOTES

Limited demolition shall be completed in strict accord with all applicable building codes, OSHA, and customary care.

All openings to the exterior shall be FULLY protected + barricaded.

Protection of ALL peripheral building(s), site(s), components, structures, and improvements shall be the sole responsibility of the General Contractor.

See EXISTING | DEMOLITION Plan.

FIRE & LIFE SAFETY

FIRE & LIFE SAFETY REQUIREMENTS

1. Fire Protection:

This building **IS SPRINKLED.**

The subject work area is ONLY under roof.

2. Rated Assembly Identification | GA 120-3-3

Not Applicable

"Fire & Smoke Barrier - Protect All Openings"

3. Tenant Separation | Demising Wall Barriers

Existing Rated Demising wall per prior permit and CO shall remain

4. Penetration of Rated Assemblies

Not Applicable

5. FIRE SEPARATION - Rated Assemblies & Notes

Tenant Demising	Existing building facade No alteration
Storage Main	N A
Penetrations	N A
Wall Finish Classifications	N A
Hardware	Panic hardware shall be provided @ all egress gates
Ceilings	N/A

6. Emergency Exit Lighting & Signage

All emergency lighting, exit signs, and fire extinguisher placement shall be evaluated by the fire marshals inspector during the on site inspection

Provisions shall comply with Section 5-10 of the NFPA 101 Life Safety Code 2021 Edition.

Combination sign and light fixtures shall be installed in each space/suite at each exit/egress point, and shall be in plain, clear view of the primary route of egress.

Illumination of the means of egress shall be provided per the requirements of the NFPA 101 Life Safety Code 2018 Edition Chapter 5-8.

All emergency exit lighting as required, shall be hard wired, and have a 90 minute battery back up power supply.

7. Exit Doors

Doors shall not be subject to the use of a key or require special knowledge to operate per NFPA 101 Life Safety Code 2018 Edition Chapter 5-2.1.5.1.

If there are Penetrations into or through, of either vertical or horizontal fire rated barriers shall be protected by a system listed by a recognized testing agency. Provide a detail and listing number per NFPA 101 Life Safety Code 2018 Edition Chapter 6-2.3.2.4.

8. Fire Extinguishers *As a part of tenant work*

Extinguishers for Business occupancies and Office areas shall be located per the requirements of NFPA 10, 2022 Edition.

The size shall be a minimum of 2-A is required and shall be installed at a maximum of 48" above the finished floor to the top of the handle per IBC 208, section 906.3

Install @ 48" Above FFE Maximum - Post Instructional Signage @ 48' AFF. Size per NFPA.

ADA - H | C ACCESSIBILITY REQUIREMENTS

1. Accessibility

Modified areas of this project (new work) shall fully comply with the 2010 ADA Standards for Accessible Design.

2. Restrooms

Existing Restroom shall be demolished and the new restrooms shall be compliant with the Accessibility requirements under which they were designed and approved.

3. Emergency Exit Signage & Lighting

Combination exit and emergency sign lights shall be located in exit | egress area, in clear view of primary points of egress.

4. Doors | Hardware

Handles, pulls, latches, locks, and other operating devices on accessible doors shall have a shape that is easy to grasp with one hand and does not require tight grasping, tight pinching, or twisting of the wrist to operate. Lever-operated mechanisms, push-type mechanisms, and U shaped handles are acceptable designs.

5. H | C Ramps | As may be required

Accessible route provided as part of prior site + shell building construction

Provide (Ramps) complying with the requirements of NFPA 101 LSC 2021 Ed 5 2.5 . Ramps shall be no greater than 1 / 12 in slope from sidewalk to landing + door threshold.

PROJECT CLOSE OUT REQUIREMENTS

Project close out shall occur upon completion of all work required by the OWNER (Per the contract). In addition to reaching "substantial completion" (As defined in the contract), final completion will require contractor to provide the following documentation to owners satisfaction:

1. Copies of all permits and permit sign off cards
2. Certificate of substantial completion
3. Certificate(s) of occupancy for shell building
4. Material sources - Vendors, sub-contractors, model + serial numbers
5. System warranty certificates (Roof, M/E/P, EIFS, GSF, etc)
6. Operational manuals
7. Lien releases & affidavits of payments of debts + claims

USE OF DRAWINGS | SCOPE

THESE DRAWINGS ARE ISSUED AS DESIGN DEVELOPMENT & PRICING DOCUMENTS ONLY !

IF USED FOR CONTRACTUAL PURPOSES, OWNER SHALL BE RESPONSIBLE FOR ALL ADDITIONAL DRAWINGS, SPECIFICATIONS, & DETAIL AS COMMENSURATE WITH THE TYPE OF WORK, EXERCISING AN ACCEPTED STANDARD OF CARE..

CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFYING ALL CONDITIONS & DIMENSIONS PRIOR TO START OF WORK.

ALL DISCREPANCIES SHALL BE REPORTED TO **POST OAK PARTNERS, LLC** et al, IN WRITING ALONG WITH AN **RFI (Request For Information)** WHICH INCLUDES A DESCRIPTION OF RECOMMENDED ACTION.

ALL WORK SHALL BE BASED UPON AND *GOVERNED BY DIMENSIONS SHOWN ON PARTITION PLAN*, AND CURRENT APPLICABLE ZONING, DEVELOPMENT, HEALTH, FIRE, LIFE SAFETY, OSHA & BUILDING CODES

ALL MECHANICAL/HVAC, ELECTRICAL, AND PLUMBING IMAGES ON THIS PLAN SET ARE FOR DESIGN REFERENCE ONLY - Additional M | E | P design will be provided by Contractor if required.

ADDITIONAL ENGINEERING, DESIGN, LOAD CALCULATIONS AND TECHNICAL DATA, AS MAY BE REQUIRED BY **THE CITY | COUNTY | STATE**, WILL BE PROVIDED BY OWNER AND/OR GENERAL CONTRACTOR.

QUALITY CONTROL + QUALITY ASSURANCE

IT IS THE SOLE & EXPRESS RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE QC/QA (*Quality Control & Quality Assurance*) FROM START THROUGH FINAL COMPLETION FOR THE PROJECT.

QC/QA INSPECTIONS (Specific & General) SHALL BE IN STRICT COMPLIANCE WITH THE REQUIREMENTS SET FORTH BY THE OWNER, ASTM, IBC, & SBC.

CERTIFICATION OF USE OF PROPER/REQUIRED MATERIALS PLACEMENT AND INSTALLATION SHALL BE OBTAINED BY THE CONTRACTOR FROM ALL MATERIAL MANUFACTURERS, AS REQUIRED BY **POST OAK PARTNERS, LLC** AND/OR THE OWNER.

POST OAK PARTNERS, LLC., et al, is not responsible for permitting and is not providing CA/Construction Administration for this project.

PROJECT NUMBER 21

ISSUE RECORD

NUMBER	DATE	ISSUE
1	010824	Design
2	011524	Pricing



BUILDING ADDITION |

VIEW POINT HE

CRISIS STABILIZATIO

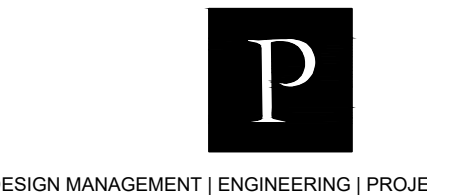
615 Lawrenceville-Suwanee
Lawrenceville, GA 30046
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OWNERSHIP |

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GENERAL CONTRACTO

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DRAWING

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1	010824	Design
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SCOPE OF WORK

The plan, images, and scope of work narrative contained herein are issued for the purposes of conveying the design concept for an expansion of the View Point Health facility located at 615 Lawrenceville-Suwanee Road in Lawrenceville, GA.

The plans represent the the general placement, configuration, and exterior of the proposed addition to the existing building.

These plan images + descriptions are NOT intended to be technical, construction, or permit documents; but simply to convey the design intent of the project.

The overall scope of improvements include the following:

1. SITE

- Site demolition
- Pavement + curb + gutter alterations
- Site grading
- Site drainage
- Additional parking area | Parking spaces
- ADA compliant sidewalks
- Landscaping

2. BUILDING | Envelope

- Building pad preparation
- Concrete building slab on grade
- Demolition | Roof overhang removal
- Infill + closure | Roof opening infill + closure
- FFE to match the existing building FFE
- New wood frame structure tight to existing
- Exterior walls 2"x6" SYP wood studs @ 16" OC
- Exterior wall bearing height 12'-4 1/2"
- Open doorways to existing building
- Roof | gable shed roof structure
- T+G decking
- Fiberglass composition roof shingle covering main roof
- Standing seam metal roof | Cricket
- Standing seam metal roof | Entrance doors
- Aluminum gutters + downspouts
- James Hardie Cementitious | B+B cladding
- Wall + roof insulation per code
- Energy efficient | Fixed insulated windows

3. BUILDING | Interior

- Wood frame partitions
- Interior walls 2"x4" SYP wood studs @ 16" OC
- Gypsum drywall @ walls + ceilings 5/8"
- Interior FCE 12'-4 1/2"
- Green board at wet locations
- Wall finishes | GA Level 4 finish
- Wall | Ceiling | Trim paint | Prime +2 finish
- All Colors by OWNER

4. BUILDING | Systems

4.1 HVAC | Mechanical

- Gas heat
- Two 5 Ton nominal cooling | Split systems
- Trane | Carrier or asOwner approved equal
- Mechanical platform above FCE
- Digital | Controls + thermostat

4.2 Electrical |

- New service from transformer
- Kva capacity | Per electrical provider
- 200 Amp distribution panel
- 3 Phase
- 4 Wire
- All LED lighting
- Velux Sun Tubes | Natural light

4.3 Plumbing |

- Two fully ADA compliant restrooms
- Restrooms shall be gender neutral
- One ADA compliant shower
- New domestic service | Existing meter
- New sanitary service | Tie into existing
- New Domestic + Sanitary service
- New AO Smith | Tank water heater
- Model # 66D | Gas fired | 66 Gallon

5. LSC | Fire Safety |

- Automated fire sprinkler system
- Service from existing vault+ meter
- Capacity to be field verified
- Smoke detectors
- Fire alarm | Annunciates
- Emergency lighting
- Emergency egress signage + lighting
- Emergency exit door | Hardware release
- Panic hardware

6. LIGATURE | Safe systems + Appurtenances

In full compliance with AHA | American Hospital Association The Joint Commission and ALL applicable design guidelines for the project

7. Low Voltage | AV | Telecom | Data | Security

These systems shall be permitted and installed by a separate trade | vendor



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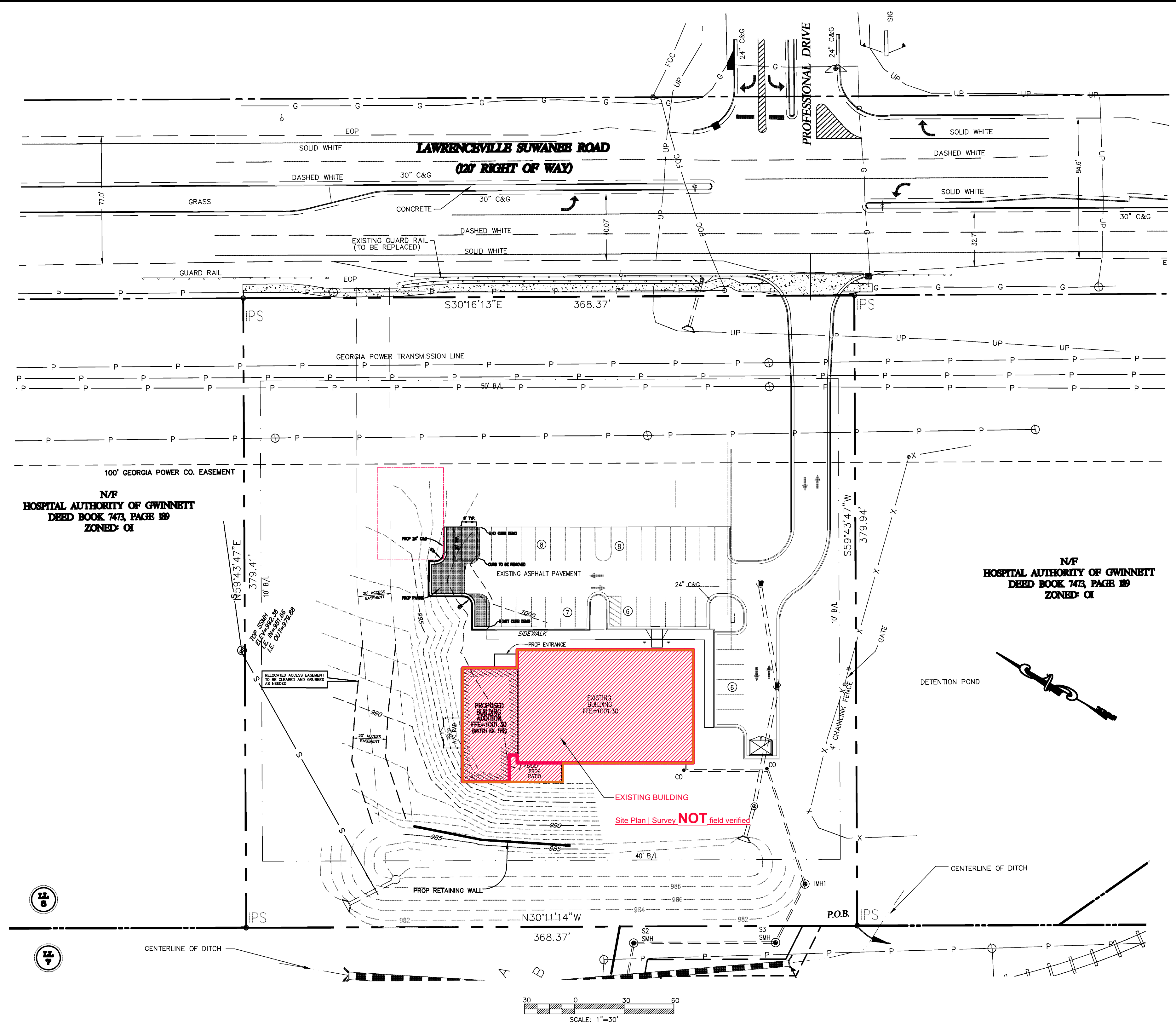
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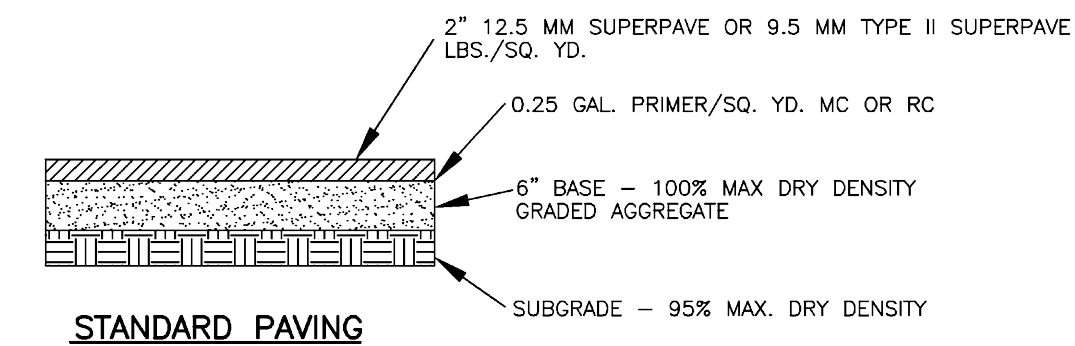
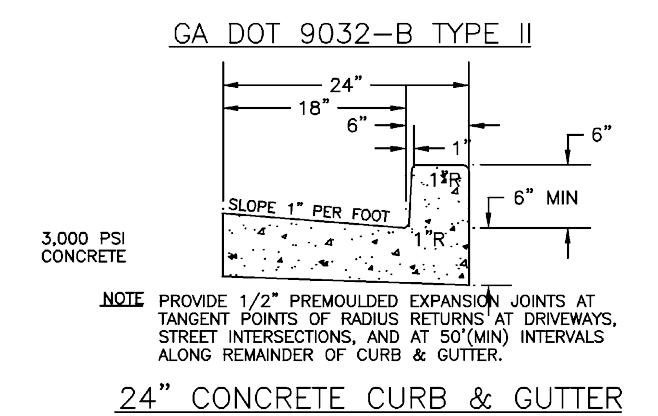


GENERAL NOTES:
 *TAX PARCEL: 025
 *LAND LOT B - 7TH DISTRICT
 *SITE ADDRESS: 615 LAWRENCEVILLE SUWANEE RD.
 *TOTAL AREA: 3.21 ACRES
 *THERE ARE NO STATE WATERS ON OR WITHIN 200 FEET OF THIS PROJECT.
 *THIS PROPERTY IS NOT LOCATED WITHIN 200' OF A WETLAND AND/OR STATE WATERS AREA.
 *THIS PROPERTY IS NOT LOCATED IN A FEDERAL FLOOD AREA AS INDICATED BY F.I.A. OFFICIAL HAZARD MAP PANEL NO. 13135C0087F, DATED 9/29/2006.
 *TOPO BY: ALCOVY SURVEYING AND ENGINEERING, INC. DATE 4/15/14.
 HOR. DATUM: NAD 83
 VERT. DATUM: NAVD 88

TOTAL SITE AREA = 3.21 AC
 EXISTING IMPERVIOUS AREA = 25,010 SF (0.57 AC) = 18% IMPERVIOUS
 INCREASE IN IMPERVIOUS AREA = 3390 SF (0.08 AC) = 2% INC. IMPERVIOUS
 TOTAL DEVELOPED IMPERVIOUS AREA = 28,400 SF (0.65 AC) = 20% IMPERVIOUS

NOTE: ALL IMPERVIOUS AREAS TO FLOW TO DRY EXTENDED DETENTION POND WITH WATER QUALITY. POND VOLUME TO BE VERIFIED UPON COMPLETION OF THE BUILDING ADDITION. THE POND IS TO BE CLEANED AND GRASSED AFTER THE COMPLETION OF THE BUILDING ADDITION.

PARKING CALCULATIONS:
 * REQUIRED PARKING = 1 SPACE / 250 SF OF BUILDING
 * EXISTING BUILDING = 7140 SF
 * PROPOSED BUILDING = 2208 SF
 * TOTAL SF = 9348 SF
 * SPACES REQUIRED = 9348 SF / (1 SPACE/250SF) = 38 REQUIRED SPACES
 * EXISTING SPACES = 35
 * ADDITIONAL SPACES REQUIRED = 3 SPACES



REVISIONS

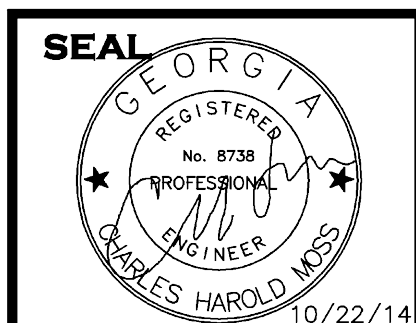
Number	Date	Remarks
1	10-22-14	NEW BLDG. PLAN

CONSULTANTS

C.H. Moss & Associates, Inc.
 ENGINEERS & CONSULTANTS
 P.O. BOX 28
 CONYINGTON, GA 30015
 (770) 768-3165

CARTER WATKINS ASSOCIATES ARCHITECTS, INC.

POST OFFICE BOX 104
 155 BANKER'S BOULEVARD
 BUILDING H SUITE 200
 MONROE, GEORGIA 30655
 770.267.7799 Fax: 770.267.1064
 email@carterwatkins.com www.carterwatkins.com



2014 BUILDING ADDITION FOR:
GRN ADULT CRISIS STABILIZATION UNIT
 615 LAWRENCEVILLE SWANEE RD.
 LAWRENCEVILLE, GA

SHEET TITLE:
 SITE PLAN

PRINTED:
 path: \\server\shared\cad\...

NUMBER:
C-2.0

1 SUR SURVEY | Partial | Reference Only

No Scale

HDHP11/17/2024 5:01 PM 5/2024 015 View Point Health DESIGN DEVELOPMENT 011524-80.dwg

ISSUE RECORD

NUMBER	DATE	ISSUE RE
1	010824	Design Opt
2	011524	Pricing Sco



BUILDING ADDITION |
VIEW POINT HEA

CRISIS STABILIZATION L

615 Lawrenceville-Suwanee Ro
Lawrenceville, GA 30046
Gwinnett County

OWNERSHIP |

VIEW POINT HEALTH
Post Office Box 687
Lawrenceville, GA 30046

GENERAL CONTRACTOR |

AMO Construction, LLC
330 Farmers Court
Suite A
Lawrenceville, GA 30046



DESIGN MANAGEMENT | ENGINEERING | PROJECT E

Post Oak Partners, LI
1205 Peachtree Parkway
Suite 1104
Cumming, Georgia 30042

Direct 770.689.6727
F 678.513.6044

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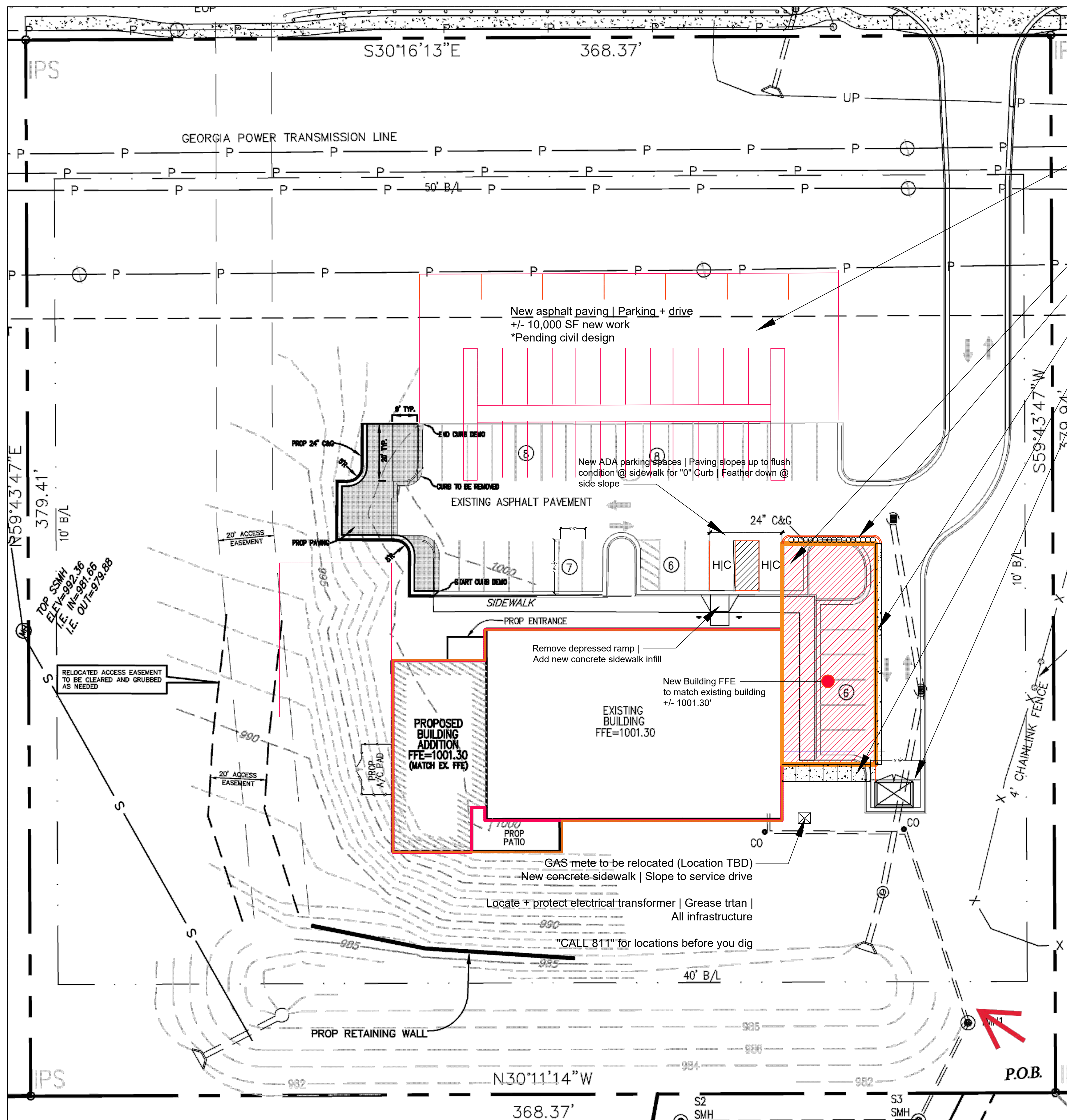
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DRAWING

SITE

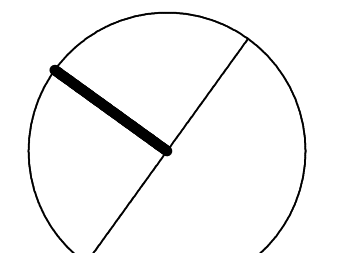


New asphalt paving | Parking + drive
Heavy duty to support FIRE vehicle traffic
Typical composition
90% Standard proctor compacted soil base
4" + 57 Stone base
6" GAB Asphalt base
2" Asphalt binder
2" Asphalt topping
Include seal coat + stripe of existing + new paved areas, With directional graphics

- Proposed location of new CSU building
- Planter | Building protection @ Front facade
- Raised curb | walk @ Side facade
Service drive to remain
- New 6' wide concrete sidewalks
- Dumpster enclosure to be replaced | Similar detail @ existing

1 SITE | Work location | Reference Only

20' @ 24x36



PROJECT NORTH

HDHP1/18/2024 8:13 AM 5/2024 015 View Point Health DESIGN DEVELOPMENT 011524-83.dwg



1. SITE OVERVIEW



2. MAIN ENTRANCE | Existing



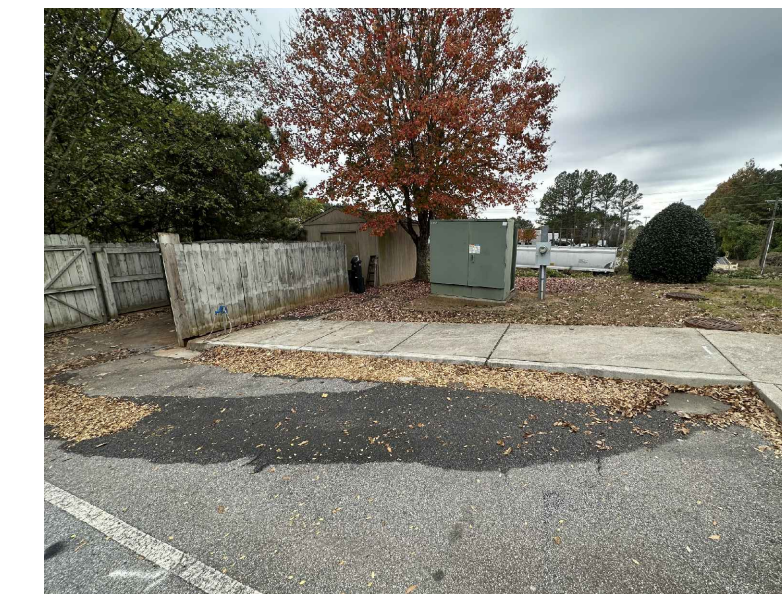
7. SERVICE | Kitchen Entrance



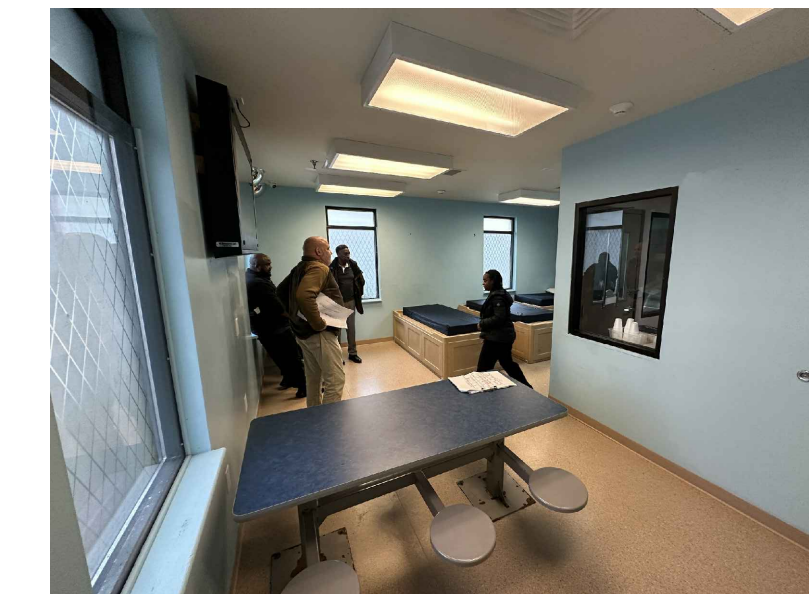
3. PARKING | Expansion Area



8. MAIN ENTRANCE | Corridor



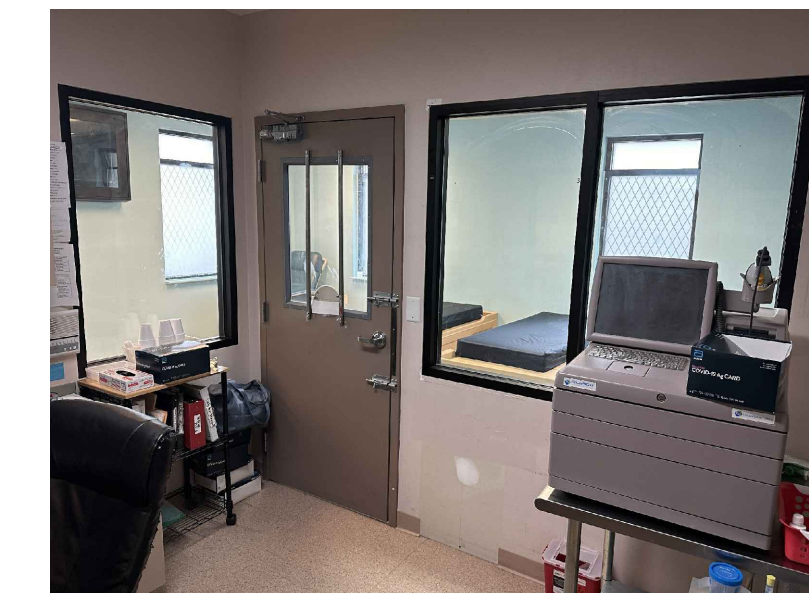
4. SERVICE COURT | Dumpster Area



9. EXISTING | Front Room



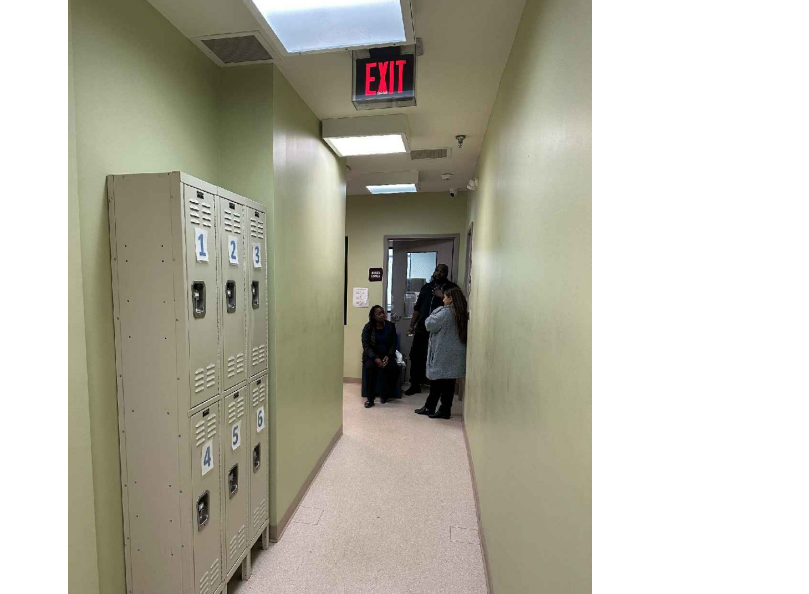
5. PARKING | Expansion Area



10. EXISTING | Front Office



6. SERVICE DRIVE



11. EXISTING | Unit Corridor

1
REF

REFERENCE PHOTOGRAPHS

No Scale

ISSUE RECORD

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2	011524	Pricing



BUILDING ADDITION |

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Lawrenceville, GA 30046
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DESIGN MANAGEMENT | ENGINEERING | PROJECT

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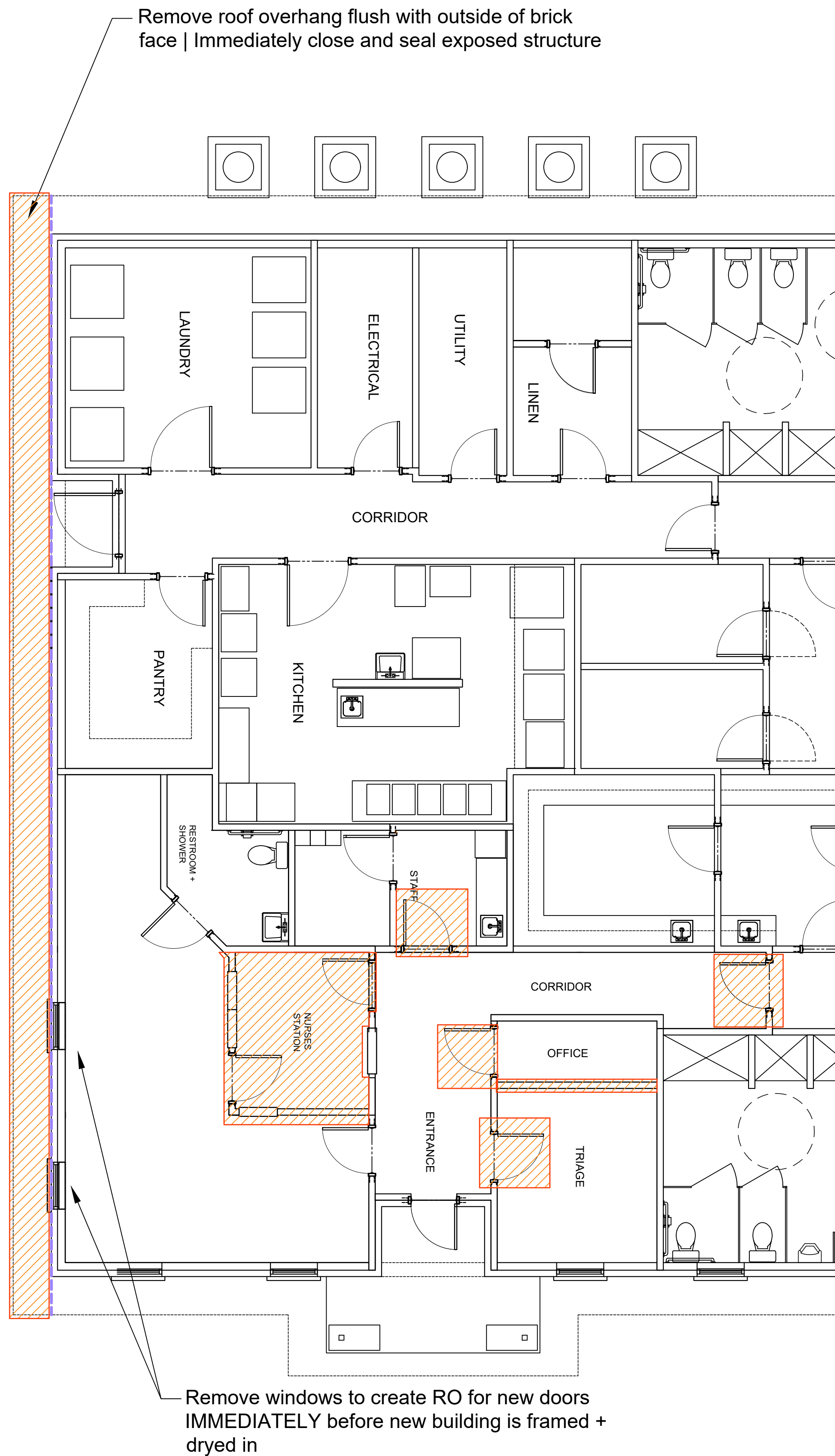
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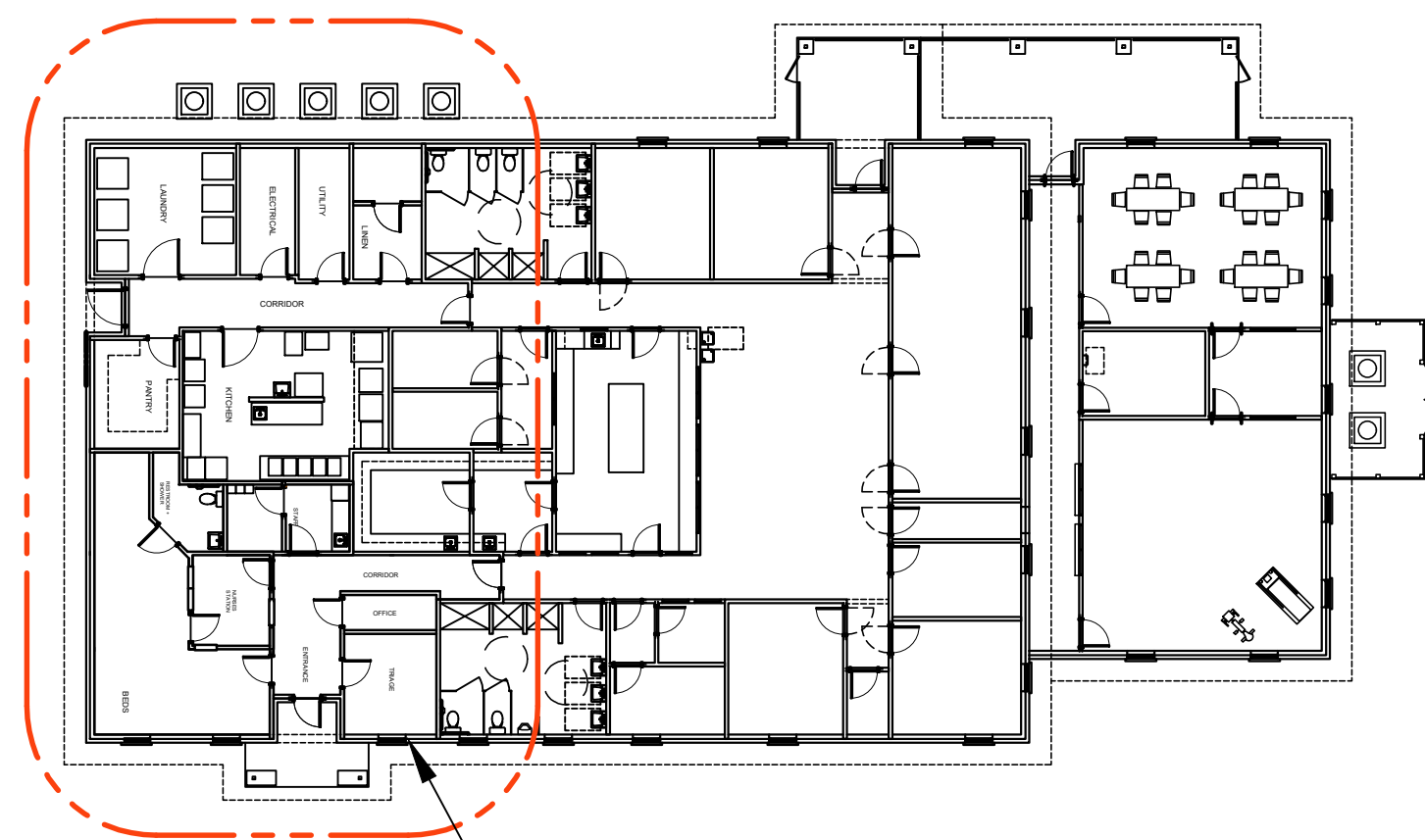
DRAWING

REF



1
A0 EXISTING + DEMO Floor Plan Schematic

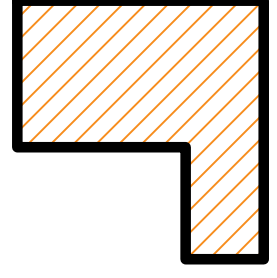
3 | 16" @ 24x36



2
A0 WORK AREA PLAN | Existing Schematic

NO SCALE

DEMOLITION | Symbols + Notes | All symbols may not apply

Area Wall Components to be removed

Removal task shall include: <ul style="list-style-type: none"> • Pre-demo safeing shoring bracing • Area protection • Debris removal

DEMOLITION NOTES | As apply to scope

ALL demolition work requiring alteration, wall removal, fixture | component removal, relocation, or replacement shall be commenced ONLY AFTER infrastructure + services have been disconnected to all systems + components including, but not limited to the following:

- HVAC | Mechanical
- Electrical
- Lighting
- Plumbing
- LV | Data | Telecom | Security

Services to be preserved | capped + covered | protected include:

- Electrical | Plumbing | Waste | Domestic supply

Contractor shall become familiar with the project | space(s) and its systems prior to execution of any demolition or proposed work.

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Code compliance

Preparatory work, including but not limited to labeling, temporary safeing, shoring and bracing, supports, and safety precautions shall be in full | strict compliance as required by OSHA, AHJ requirements, and ALL applicable building, development, mechanical, electrical, plumbing, life safety, and development codes.

Specifically 2018 IBC Chapter 33 | **Safeguards During Construction**

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2. Removal of all FF+E in demolition | proposed work areas
3. Temporary shoring + support of adjacent structure for the duration of the work OR as deemed necessary by OWNER

Provide code compliant bracing + support for all structural interruptions

4. Bracing, safeing, and capping, of all interior + exterior utility services | systems and building | ceiling components prior to execution of any demolition or proposed work

5. Utility services | infrastructure | existing structure(s) | finishes, FF+E to be covered + protected shall include but not limited to the following:

- Buildings
- Walls
- Doors
- Windows
- Trim
- Floor finishes
- Electricity
- Cabinetry
- M E P systems + components

6. Demolition Tasks

- Remove drywall | studs | partitions | upper + lower plates
- Inspect for utility conflicts
- Clean-up work area

7. ELECTRICAL SAFING

• All electrical, lighting, and controls that are to be removed shall be done in a safe and orderly manner: with power turned off

• Electrical feeds to lighting controls shall have wiring feed + controls fully removed

• Electrical feeds to be preserved shall be terminated | capped in a UL approved junction box; and be fully secured above the FCE | SAT grid to a structural member

• All junction box locations shall be memorialized by contractor on a floor plan for future reference

• All unused electrical, data, security, LV, and AV cable and wiring shall be removed as required by the NEC

8. Demolition scope is generally limited to the following general tasks:

- Removal of items per SCOPE OVERVIEW LIST
- Safe, orderly, and legal removal and disposal of all debris

9. Ceilings to be removed + disposed of

PROJECT NUMBER 21

ISSUE RECORD

NUMBER	DATE	ISSUE
1	010824	Design
2	011524	Pricing



BUILDING ADDITION |

VIEW POINT HE

CRISIS STABILIZATIO

615 Lawrenceville-Suwanee
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Gwinnett County

OWNERSHIP |

VIEW POINT HEALTH
Post Office Box 687
Lawrenceville, GA 30046

GENERAL CONTRACTO

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Lawrenceville, GA 30046



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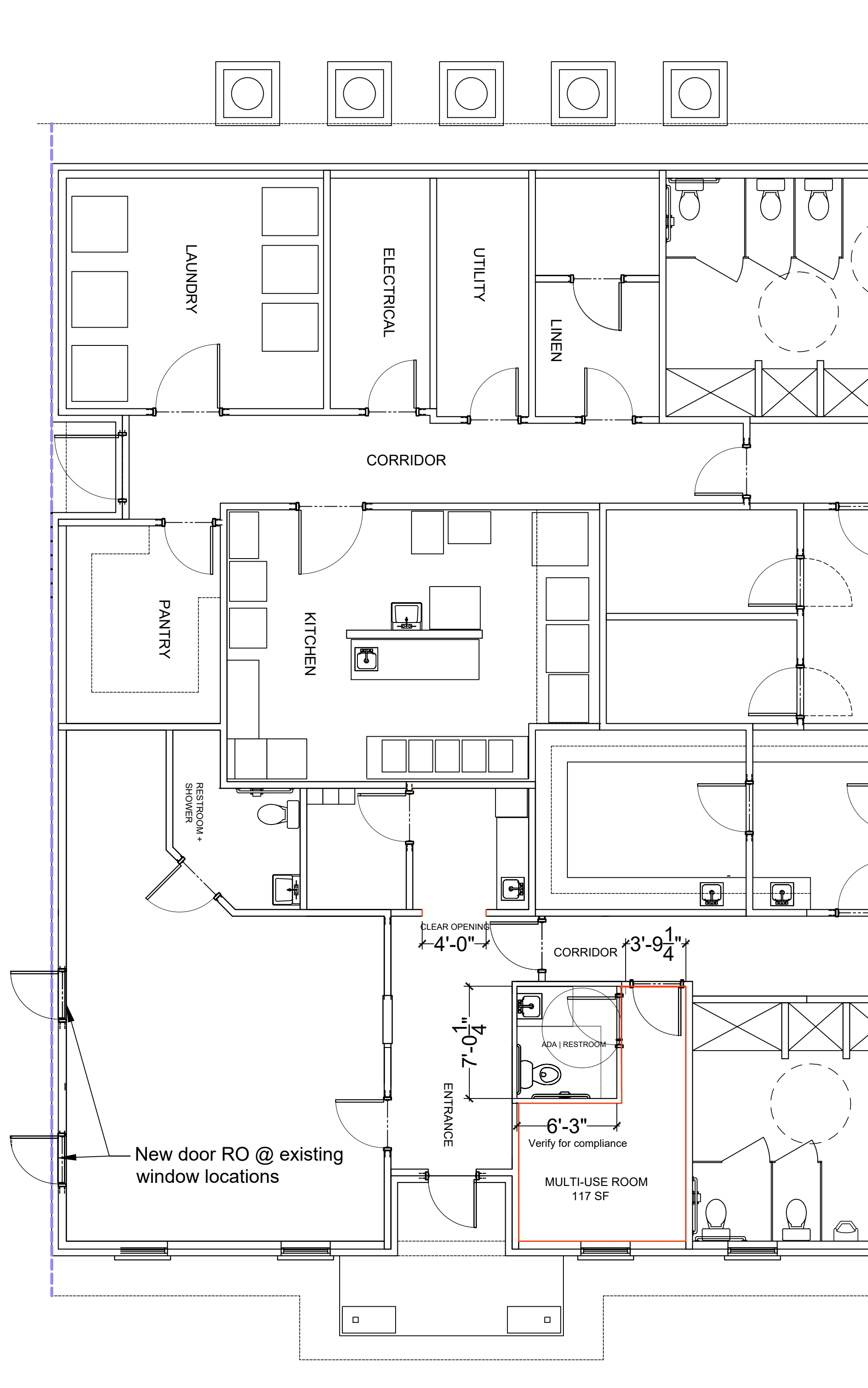
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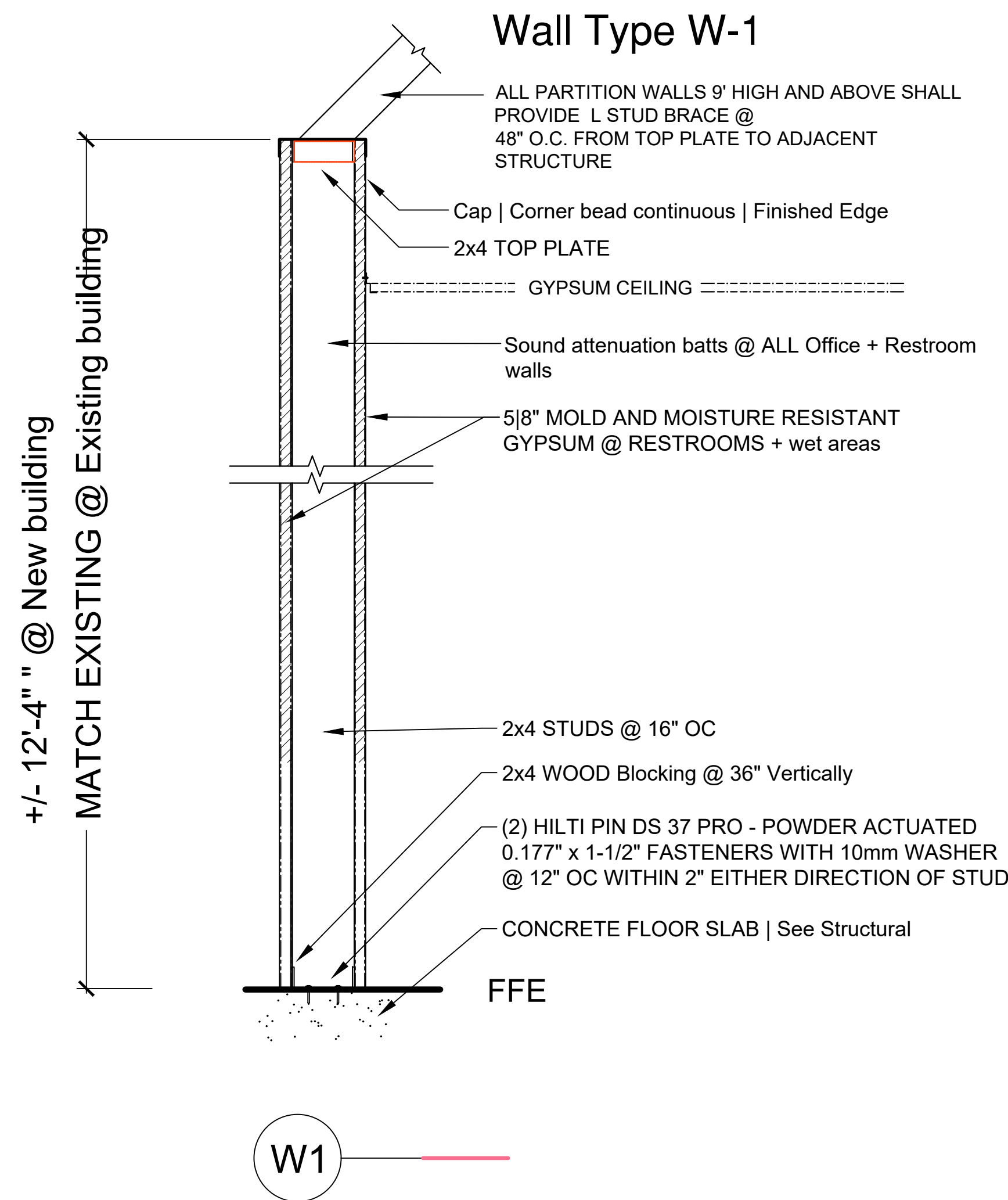
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1 FLOOR PLAN | Existing Building
A1 Schematic

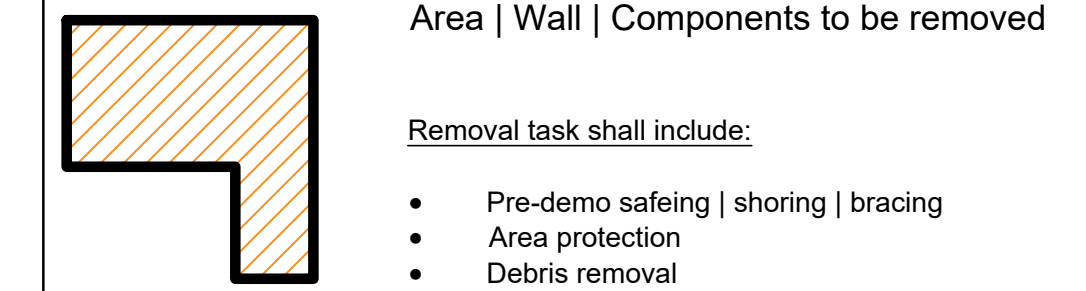
3 | 16" @ 24x36



2 Interior PARTITION WALL
A1 Schematic

NO SCALE @ 24x36

DEMOLITION | Symbols + Notes | All symbols may not apply



DEMOLITION NOTES | As apply to scope

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- Trim
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ISSUE RECORD

NUMBER	DATE	ISSUE REVISION
1	010824	Design Options
2	011524	Pricing Scope



BUILDING ADDITION |

VIEW POINT HEALTH

CRISIS STABILIZATION UNIT

615 Lawrenceville-Suwanee Road
Lawrenceville, GA 30046
Gwinnett County

OWNERSHIP |

VIEW POINT HEALTH
Post Office Box 687
Lawrenceville, GA 30046

GENERAL CONTRACTOR |

AMO Construction, LLC
330 Farmers Court
Suite A
Lawrenceville, GA 30046



DESIGN MANAGEMENT | ENGINEERING | PROJECT EXPEDIT

Post Oak Partners, LLC

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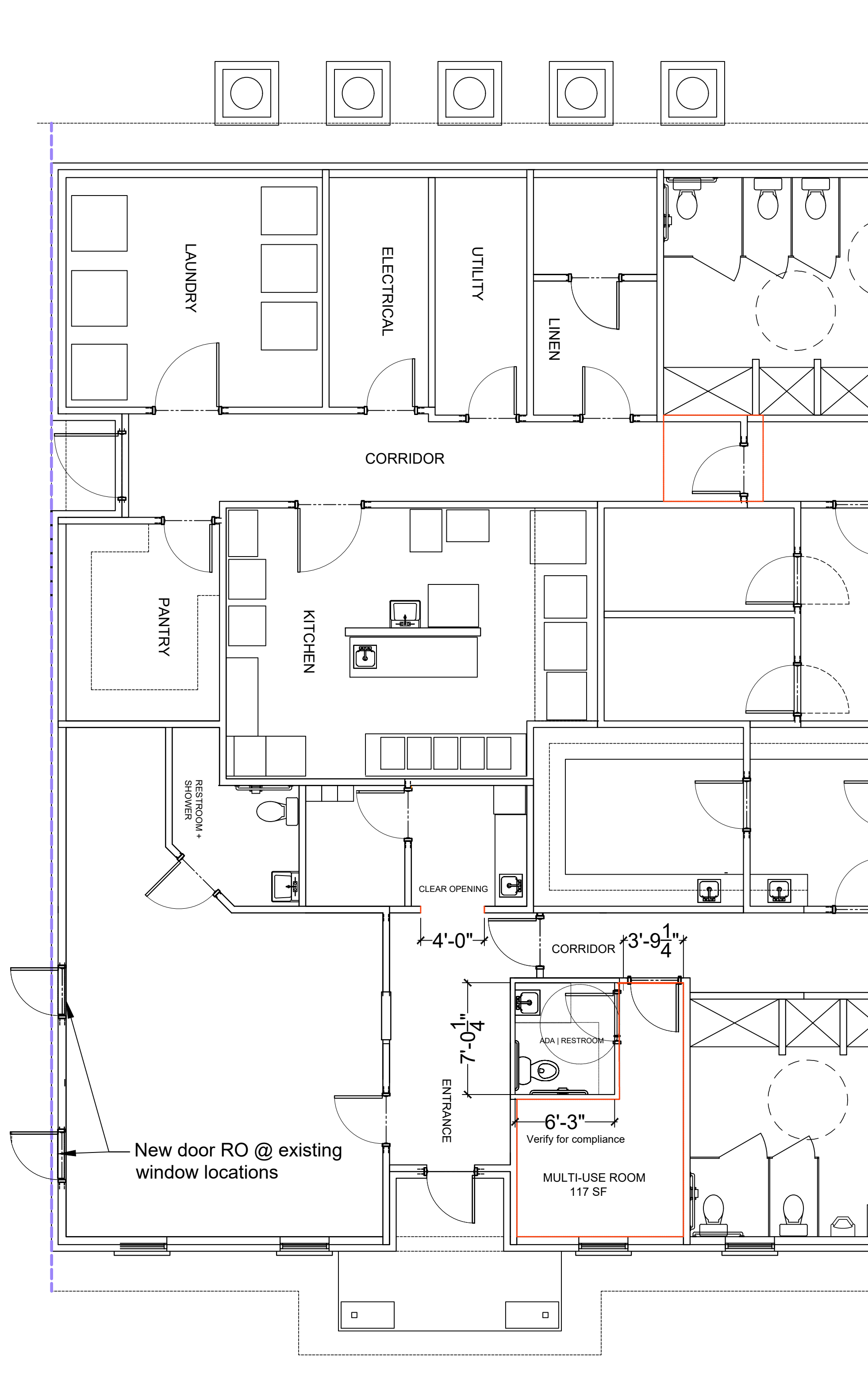
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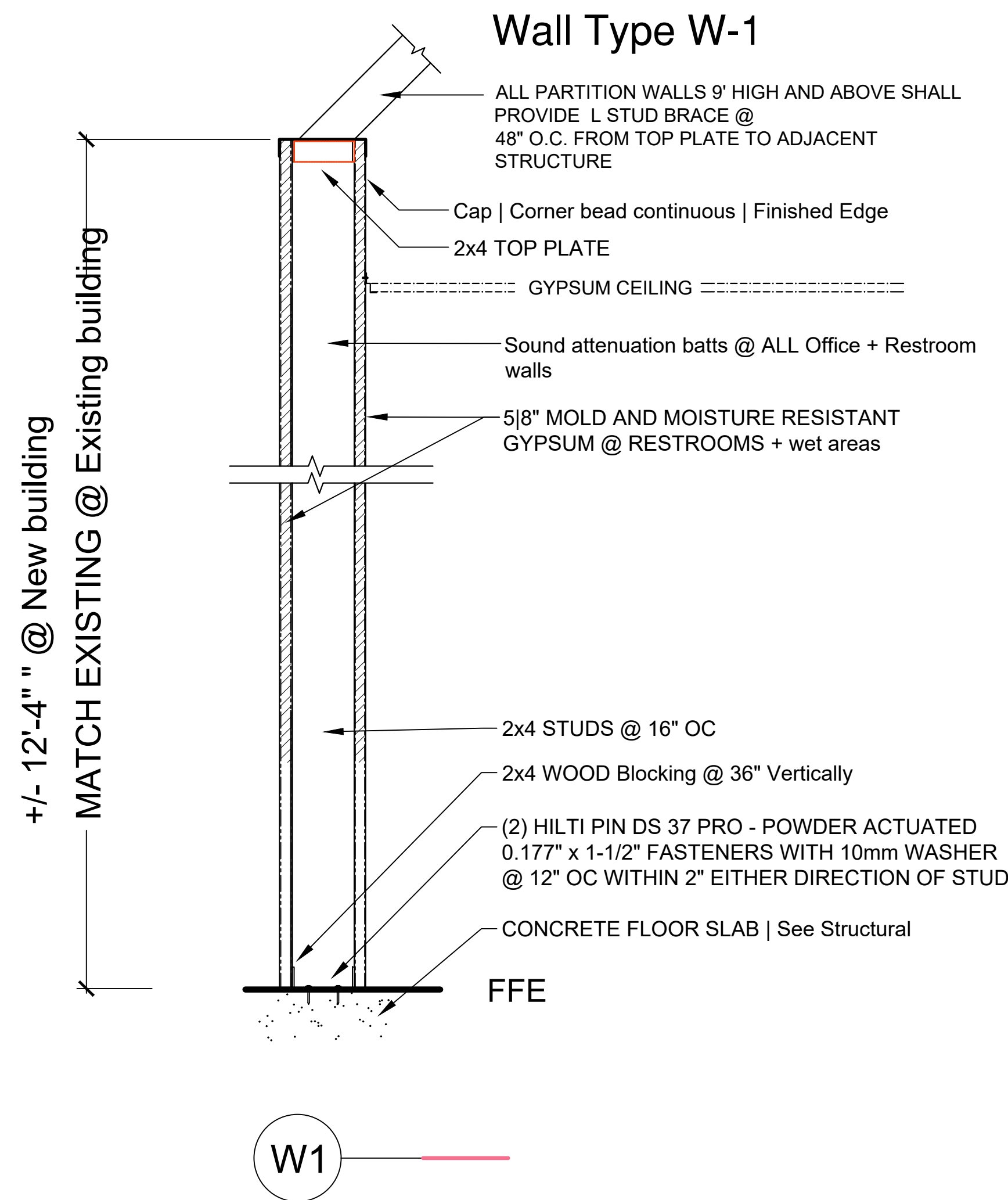
A1

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1 FLOOR PLAN | New CSU Space
A2 Schematic

3 | 16" @ 24x36

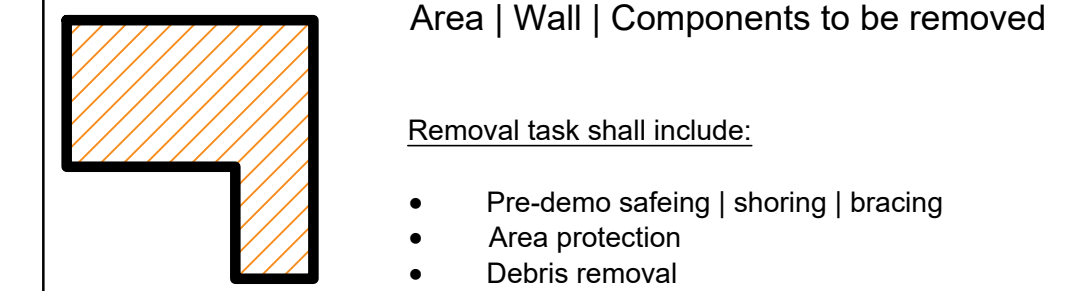


ALL New Partition Walls

2 Interior PARTITION WALL
A2 Schematic

NO SCALE @ 24x36

DEMOLITION | Symbols + Notes | All symbols may not apply



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BUILDING ADDITION |

VIEW POINT HEALTH

CRISIS STABILIZATION UNIT

615 Lawrenceville-Suwanee Road
Lawrenceville, GA 30046
Gwinnett County

OWNERSHIP |

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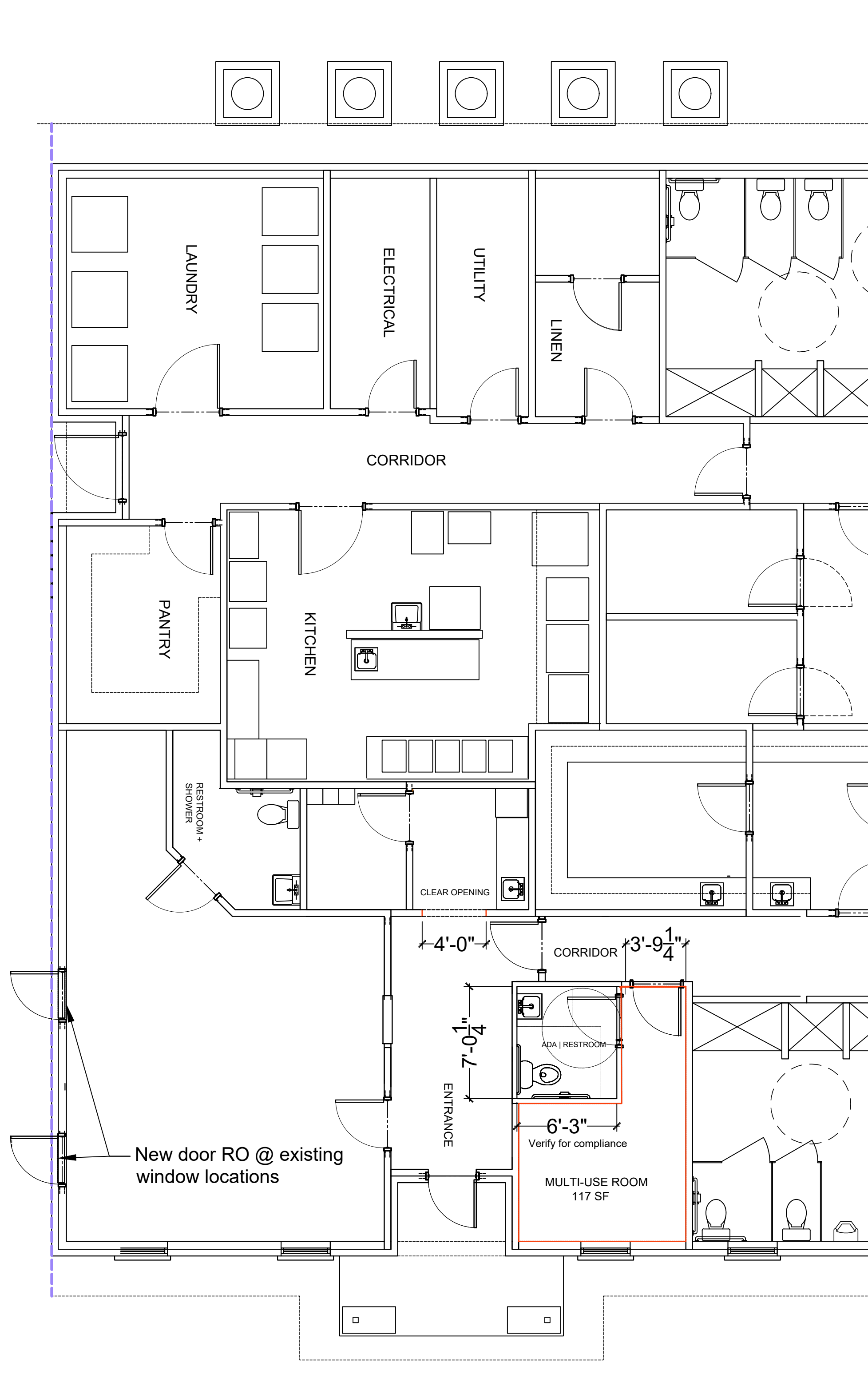
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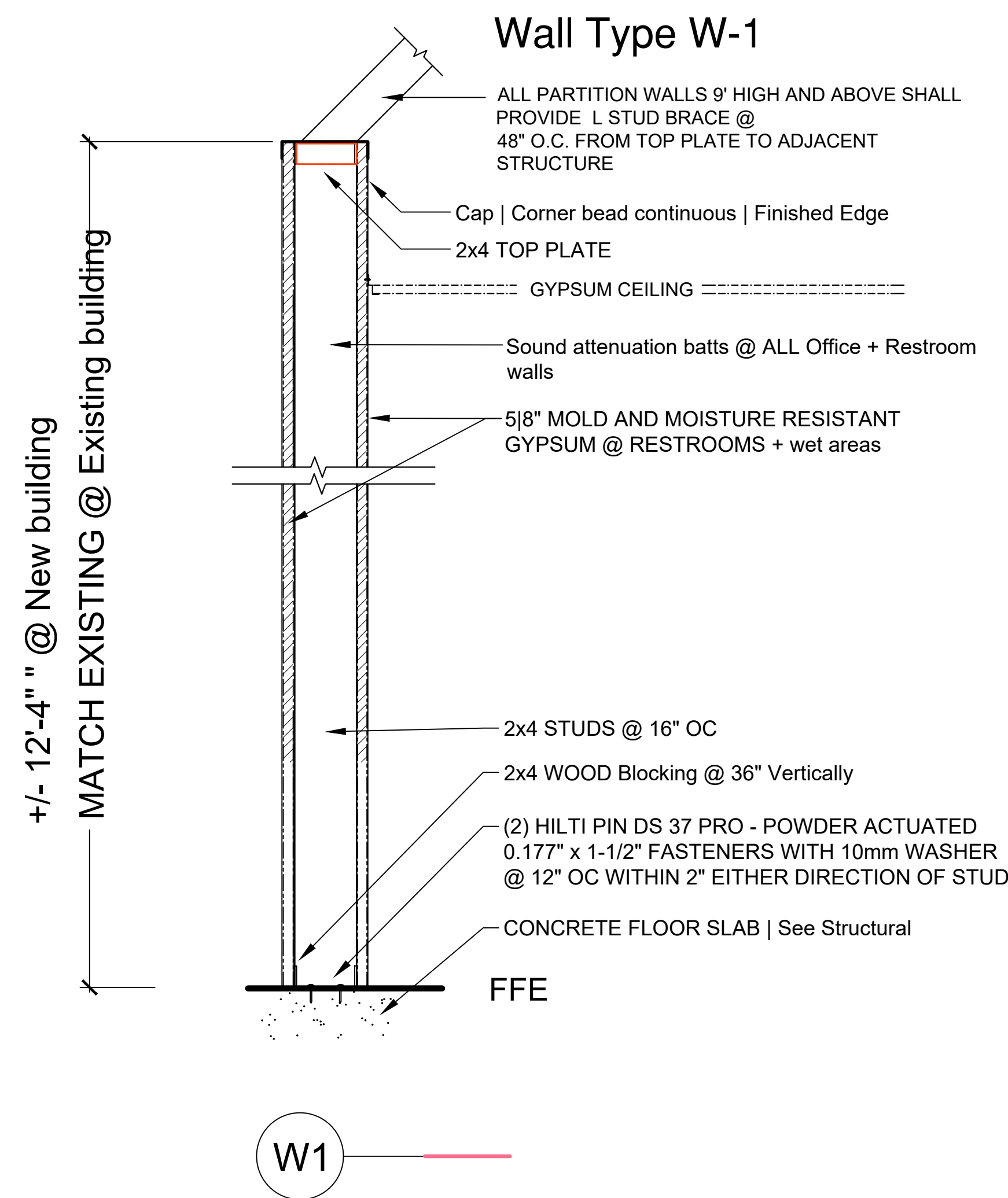
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1 FLOOR PLAN | New CSU Space
A3 Schematic

3 | 16" @ 24x36



2 Interior PARTITION WALL
A3 Schematic

NO SCALE @ 24x36

DRAWING

A3

ISSUE RECORD

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2	011524	Pricing Scope



BUILDING ADDITION |

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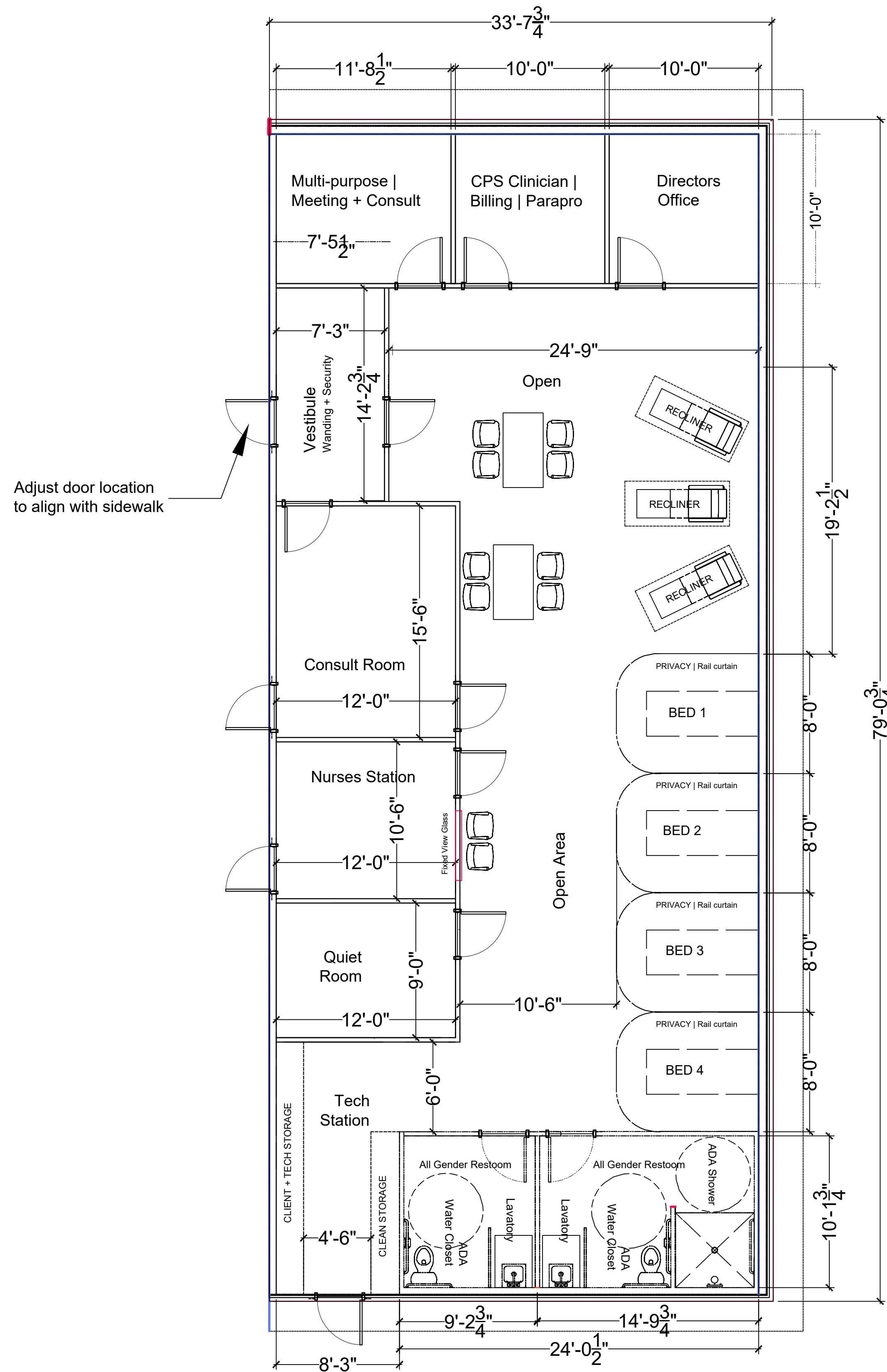
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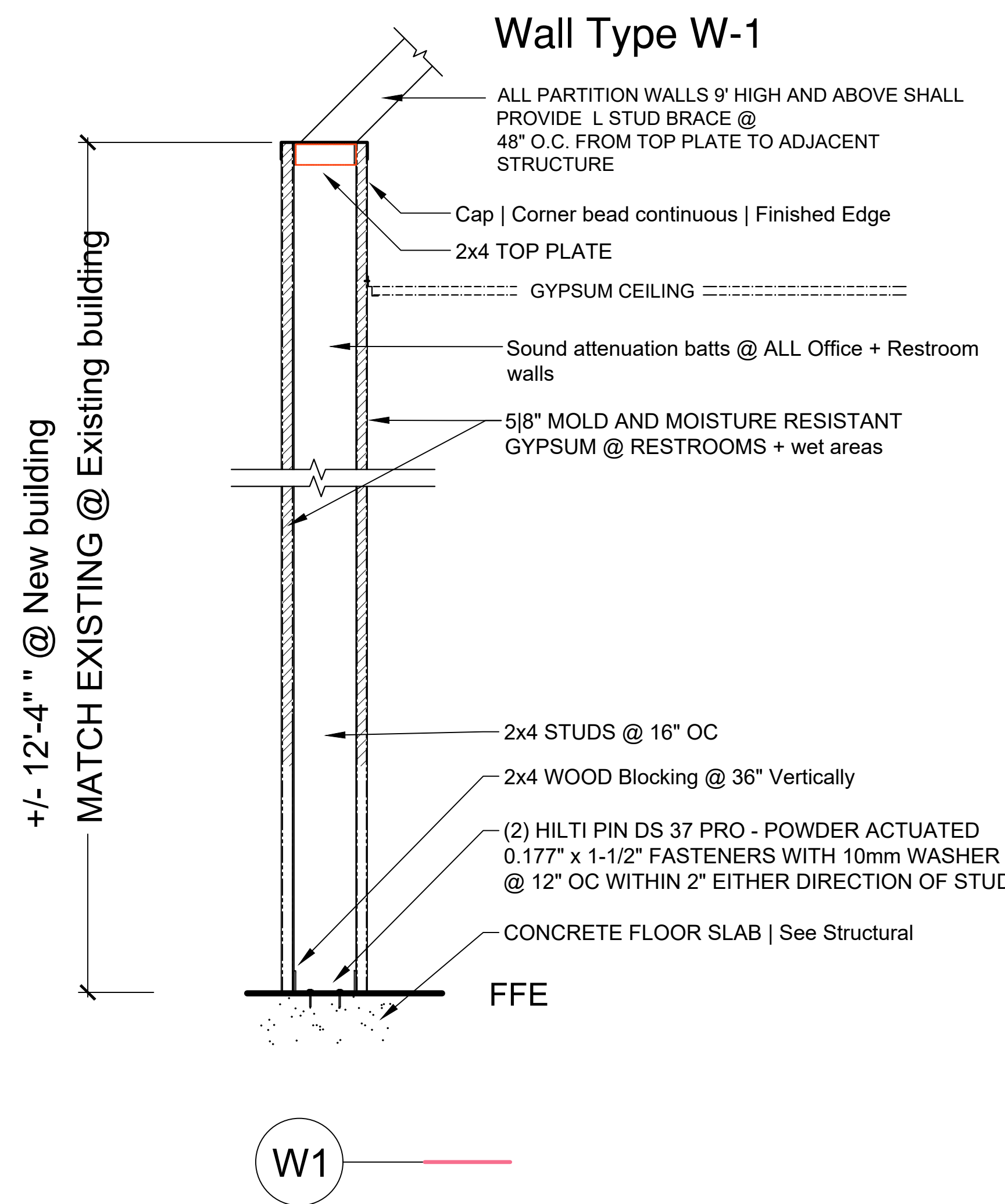
A4



2,549 SF (Outside of frame) PRELIMINARY COMPOSITE | Floor Plan

1 FLOOR PLAN | New CSU Space
A4 Schematic

3 | 16" @ 24x36



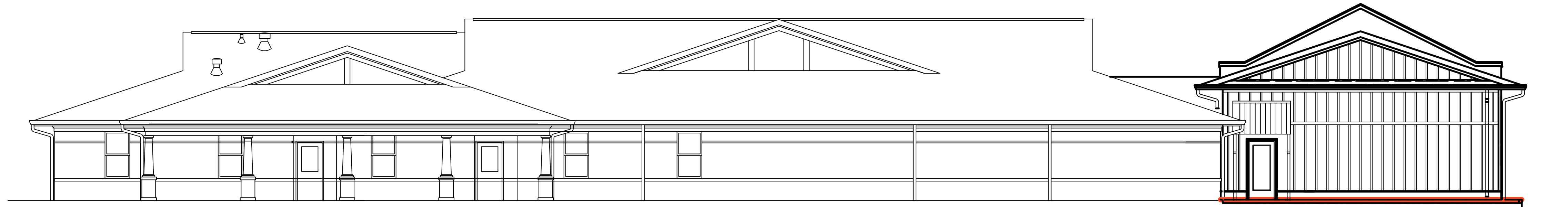
ALL New Partition Walls

2 Interior PARTITION WALL
A4 Schematic

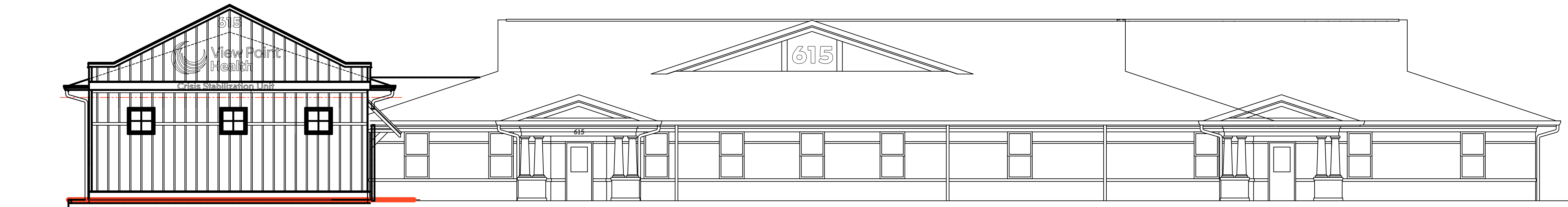
NO SCALE @ 24x36

ISSUE RECORD

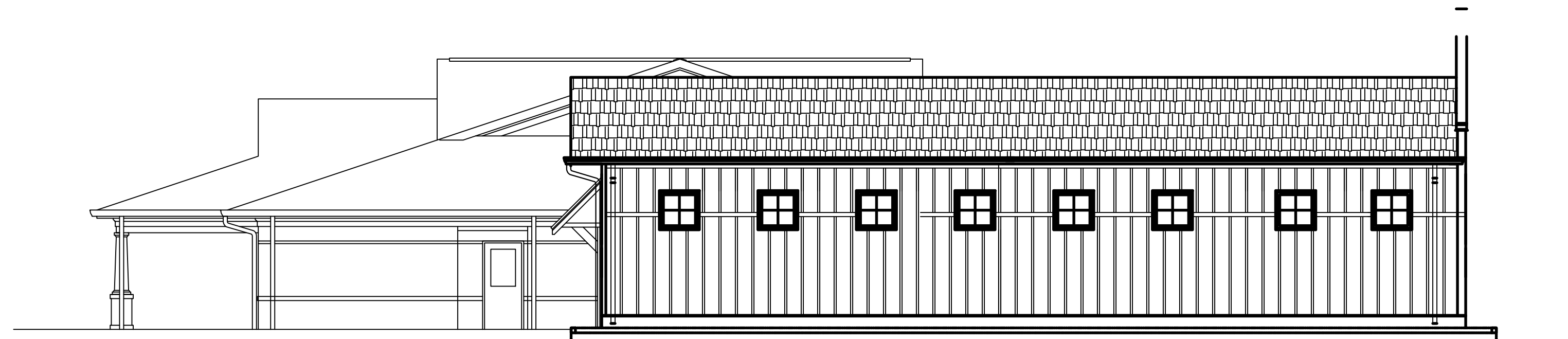
NUMBER	DATE	ISSUE REVISION
1	010824	Design Options
2	011524	Pricing Scope



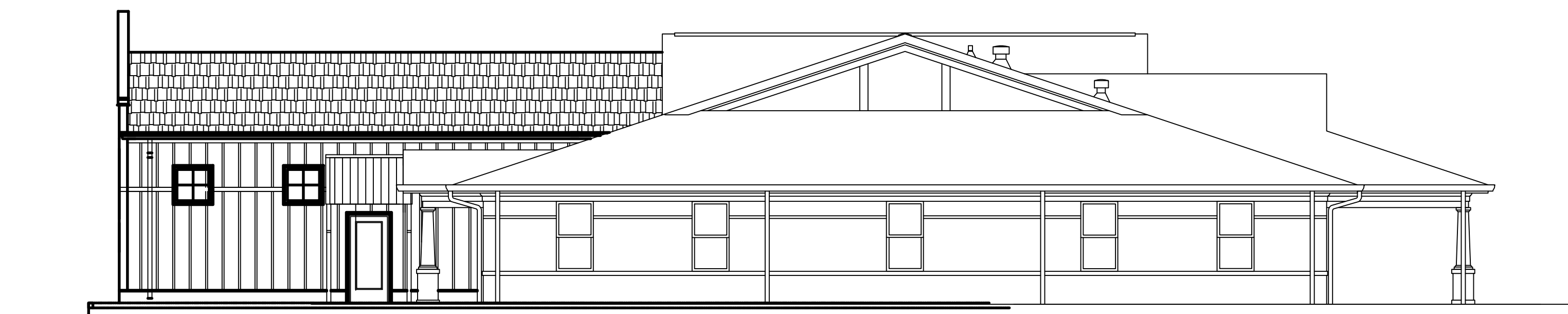
REAR



FRONT



LEFT | Service Drive



RIGHT | Entrance

1 ELEVATIONS | Proposed
A5 Schematic

1 | 8" @ 24x36



BUILDING ADDITION |
VIEW POINT HEALTH-
CRISIS STABILIZATION UNIT

615 Lawrenceville-Suwanee Road
Lawrenceville, GA 30046
Gwinnett County

OWNERSHIP |
VIEW POINT HEALTH
Post Office Box 687
Lawrenceville, GA 30046
GENERAL CONTRACTOR |
AMO Construction, LLC
330 Farmers Court
Suite A
Lawrenceville, GA 30046



DESIGN MANAGEMENT | ENGINEERING | PROJECT EXPEDIT

Post Oak Partners, LLC
1205 Peachtree Parkway
Suite 1104
Cumming, Georgia 30042
Direct 770.689.6727
F 678.513.6044

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A5

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ISSUE RECORD

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1	010824	Design Options
2	011524	Pricing Scope



BUILDING ADDITION |
VIEW POINT HEALT

CRISIS STABILIZATION UNI

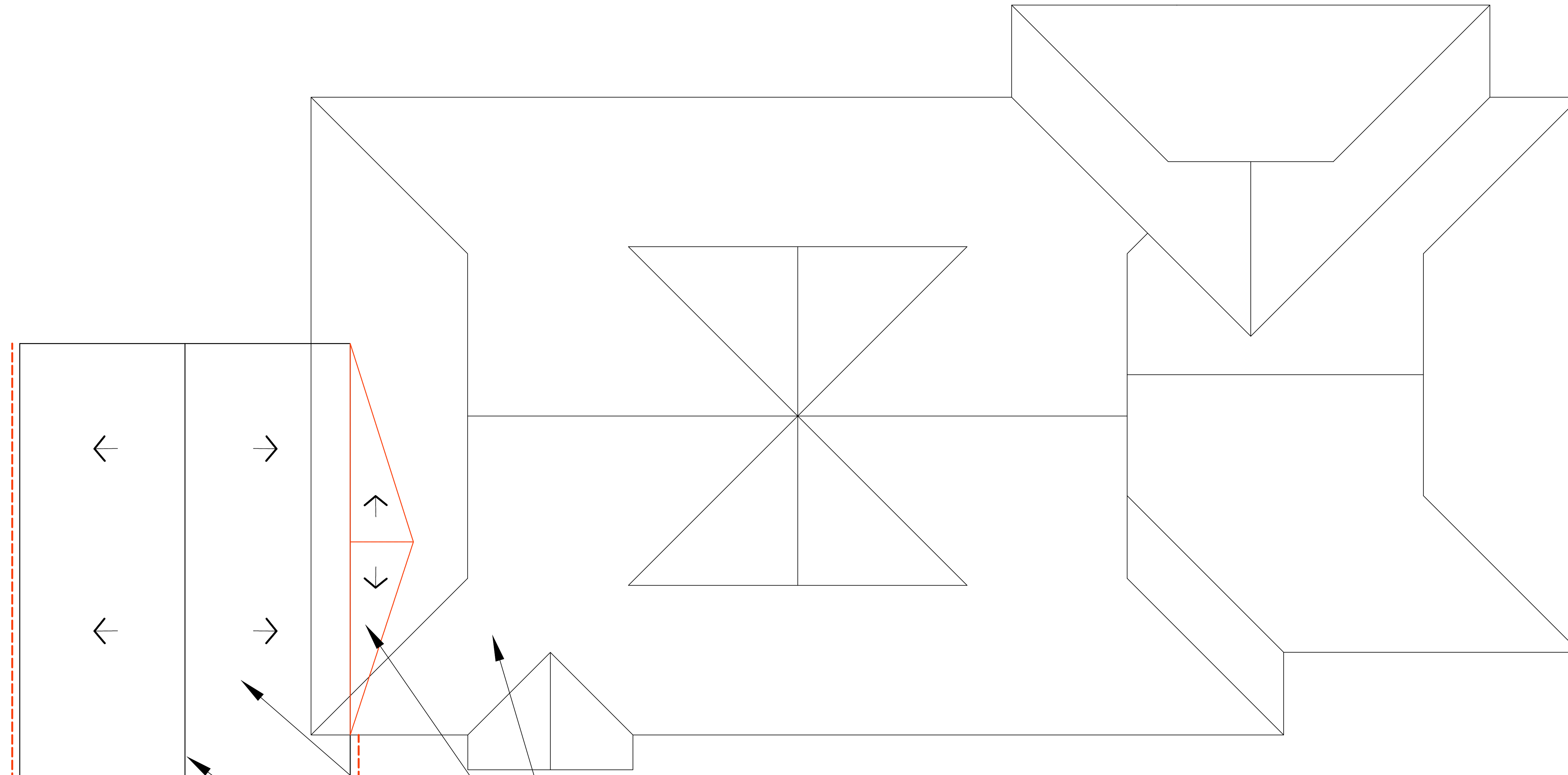
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Lawrenceville, GA 30046

GENERAL CONTRACTOR |

AMO Construction, LLC
330 Farmers Court
Suite A
lawrenceville, GA 30046



EXISTING BUILDING | Shingle roof | Repairs as needed

CRICKET | SSM transition @ New building

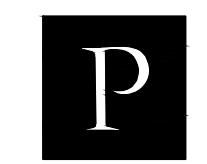
NEW GABLE ROOF | 30 GAF "Timberline" Composition fiberglass shingles | Ice and water barrier | Metal drip edge

Continous ridge vent

6" Gutters = Downspouts @ Maximum 20' OC - Equally spaced

Metal coping | continuous @ Front facade wall

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1 ROOF PLAN | Diagram
A6 Schematic

NO SCALE

DRAWING
A6



Georgia-Pacific
DensGlass® Sheathing

Fastening and Framing

Thickness	Framing Spacing	Panel Orientation	Fastener Spacing - Wood Framing*	Fastener Spacing - Metal Framing*
1/2" (12.7 mm)	24" (610 mm) o.c. max ¹	Parallel ² or Perpendicular	8" (203 mm) o.c. field & perimeter	8" (203 mm) o.c. along framing
5/8" (15.9 mm)	24" (610 mm) o.c. max ¹	Parallel ² or Perpendicular	8" (203 mm) o.c. field & perimeter	8" (203 mm) o.c. along framing

- Only for mechanically attached sheathing. When specified behind EFS, maximum framing spacing for 1/2" (12.7 mm) DensGlass® Sheathing is 18" (458 mm) o.c.
- Fastener spacing around the perimeter of the sheath and along intermediate vertical framing members. To meet the racking shear strength listed in the physical properties table, fastener spacing is 4" (102 mm) o.c. across the perimeter of each panel and 8" (203 mm) o.c. along vertical framing members.
- For racking strength resistance, apply panel edges parallel with framing spaced a maximum of 18" (458 mm) o.c. for both 1/2" (12.7 mm) and 5/8" (15.9 mm) DensGlass Sheathing.
- Fin-vented assemblies may require additional fasteners, see specific assembly details.

Fastener*	1/2" (12.7 mm) Thick Sheathing	5/8" (15.9 mm) Thick Sheathing	Description	Application
	1" (25 mm)	1-1/4" (32 mm)	Bugle head fine thread, corrosion-resistant drill point drywall screw (18 gauge or thicker)	DensGlass Sheathing to heavy-gauge metal framing
	1" (25 mm)	1-1/4" (32 mm)	Bugle head fine thread, corrosion-resistant sharp point drywall screw (20-25 gauge)	DensGlass Sheathing to light-gauge metal framing
	1-1/4" (32 mm)	1-5/8" (41 mm)	Bugle head, rust-resistant, coarse thread sharp point screw	DensGlass Sheathing to wood framing
	1-1/4" (32 mm)	1-1/4" (32 mm) metal 1-5/8" (41 mm) wood	Water head, corrosion-resistant screws, drill or sharp point	DensGlass Sheathing to heavy-gauge or light-gauge, metal or wood framing
	1-1/2" (38 mm)	1-3/4" (45 mm)	11-gauge, galvanized nail	DensGlass Sheathing to wood framing

*For screws, meet or exceed ASTM C1002 or CS54. Contact fastener manufacturer for correct amount of corrosion resistance.

Negative Uniform Wind Load

5/8" (15.9 mm) DensGlass® Fireguard® Sheathing Horizontally Applied

Wind Spacing, in. o.c. (mm)	Screws, in. o.c. (mm)	Ultimate Load, PSF* (kPa)	NOTE: Apply DensGlass Sheathing to appropriately engineered framing system. (tested applied to 6" (152 mm) x 1-5/8" (41 mm) 18-gauge (43 mil) steel studs using #8 1-1/4" (32 mm) bugle head screws. Other stud sizes may be suitable.
16 (406)	8 (203)	127 (6.08)	
16 (406)	6 (152)	142 (6.80)	
16 (406)	4 (102)	192 (9.19)	
12 (305)	8 (203)	157 (7.51)	
12 (305)	6 (152)	204 (9.77)	
12 (305)	4 (102)	270 (12.93)	
8 (203)	8 (203)	208 (9.99)	
8 (203)	6 (152)	264 (12.59)	
8 (203)	4 (102)	410 (19.83)	

1/2" (12.7 mm) DensGlass Sheathing and 5/8" (15.9 mm) DensGlass Fireguard Sheathing Vertically or Horizontally Applied

Thickness (mm)	Wind Orientation	Wind Spacing, in. o.c. (mm)	Ultimate Load, PSF* (kPa)	NOTE: Apply DensGlass Sheathing to appropriately engineered framing system. (bugle head screws 8" (203 mm) o.c.).
1/2" (12.7)	Vertical	16 (406)	65 (3.11)	
1/2" (12.7)	Horizontal	16 (406)	70 (3.38)	
5/8" (15.9)	Vertical	24 (610)	68 (3.28)	
5/8" (15.9)	Horizontal	24 (610)	65 (3.11)	
5/8" (15.9)	Vertical	16 (406)	92 (4.40)	

For latest information and updates: Technical Service Hotline 1.800.225.6119 or www.gppgypsum.com

CAUTION: For product fire, safety and use information, go to building.com/densglass.

3. DensGlass | Impact Resistant (Option 2)

BEHAVIORAL SAFETY

THE INDUSTRY LEADER IN LIGATURE RESISTANT PRODUCTS

BEHAVIORAL SAFETY

BSP is a single source of suicide prevention safety products for the behavioral-psychiatric industry, offering the highest degree of safety, functionality, and aesthetically pleasing environments for patients.

BESAFEPRO.COM 706.705.1500

4. ACCESSORIES | Interior | *Ligature resistant | Behavioral Safety Products

- | | |
|---------------------------------------|-----------------------------|
| 1. Mirror Wall | # FM760 |
| 2. Toilet paper dispenser | # TR740 |
| 3. Paper towel dispenser | # PH240 |
| 4. Sink Faucet | # SF390 |
| 5. Shower Head + shower valve panel | # SV710 # SH330 # SV230 |
| 6. Sink Solid surface | # ET720 |
| 7. Towel hook | # TH770 |
| 8. Exhaust Supply grille | # EG450 |
| 9. Thermostat Cover | # TM260 |
| 10. Grab bar | # GB730 |
| 11. Soap Dispenser | # SD750 |

Sound Attenuation Batt Insulation

Product Data Sheet

Description
Sound Attenuation Batts (SAB's) are unfaced, lightweight, flexible fiberglass insulation batts, designed to deliver noise control in metal stud wall cavities of interior partitions. Manufactured to fit metal framing, they come in 2 1/2", 3 1/2" and 5 1/2" thicknesses, with lengths up to 9'.

Product Attributes
Excellent Acoustical Performance
Sound Attenuation Batts provide excellent acoustical performance for metal framed interior partitions. Depending on the construction method and components used, SAB's can improve STC (Sound Transmission Class) ratings by 4-10 points over an empty cavity.

Acoustic Comparison of Cavity Insulation Types

Gypsum Board	Insulation Type	Test Number	STC
One layer each side	None	TL-68-618	38
3/8"	Glass 6 bar	TL-63-325	49
3/8"	Mineral 6 bar	TL-63-327	47
5/8"	Cellulose (spray)	TL-63-049	45
One layer one side, two layers the other side	Glass 6 bar	TL-63-403	62
3/8"	Mineral 6 bar	TL-63-329	63
5/8"	Cellulose (spray)	TL-63-050	49
3/8"	Cellulose (blown)	TL-62-437	49

ASTM E90-1990
ASTM E413 for

Available Sizes

Thickness	Width	Length
2 1/2"	16'24" (400mm/500mm)	96"
3 1/2"	16" (400mm)	108"
3 1/2"	16'24" (400mm/500mm)	96"
5 1/2"	16" (400mm)	108"
5 1/2"	16" (400mm)	96"

Product Comparison
Independent ASTM E90-1990 testing was used to determine Sound Transmission Class in accordance with ASTM E413 for

Sound Attenuation Batt Insulation

Product Data Sheet

2. Location and attachment of outlets, ducts and mechanical equipment. Plumbing should be designed to allow for expansion and contraction. Pipes should also be isolated from structure using resilient mounts.

3. Use solid core wood or metal doors for best noise control. Depending on HVAC requirements, weather-stripping may be used around the door to reduce sound transmission.

Fire Safety
Sound Attenuation Batts are considered non-combustible and have a classified 10/10 when tested in accordance with ASTM E84. When installed in approved wall systems, SAB's can achieve up to a 2 hour rating when tested according to ASTM E119.

Special
Due to the potential for skin irritation Sound Attenuation Batts should not be used in open cavities that will be subject to human contact. If specifying for an open cavity, remember to use supplemental support for heights over 8'.

Product should be kept dry during shipping, storage and installation.

Applicable Standards
Sound Attenuation Batt Insulation complies with ASTM C685 Type I, ASTM E 136 and the MEA 332-83-m requirements of New York City. Federal Specification HH-1-521F has been canceled and is replaced by ASTM C665.

Acoustic and Fire Ratings for Typical Steel Stud Partitions

STC Test No.	Construction Description	Fire Test Fire Rating
56 W02184 1/2"	1/2" Type "X" gypsum, 38" Sound Attenuation Batt Insulation	WP 1521 2 Hr.
54 W02084 1/2"	1/2" Type "X" gypsum, 2 1/2" thick Sound Attenuation Batt Insulation	WP 1546 2 Hr.
65 W02484	2" Type "X" gypsum, 2 1/2" thick Sound Attenuation Batt Insulation	WP 1052 1 Hr.
52 W02884	2" Type "X" gypsum, 2 1/2" thick Sound Attenuation Batt Insulation	UL U484 1 Hr.
58 RAL-TL90-345 5"	5" Type "X" gypsum single layer, resilient channel, one side, double layer other side, SBS, 3 1/2" thick Sound Attenuation Batt Insulation	UL U485 1 Hr.
51 RAL-TL89-288 Single Layer 5"	5" Type "X" gypsum, 6" SBS, 5 1/2" thick Sound Attenuation Batt Insulation	1 Hr.
50 RAL-TL89-157 Single Layer 6"	6" Type "X" gypsum, SBS, 3 1/2" thick Sound Attenuation Batt Insulation	UL U485 1 Hr.
47 W05182	Single Layer 5" Type "X" gypsum, 2 1/2" thick Sound Attenuation Batt Insulation	UL U484 1 Hr.
54 RAL-TL90-344 Single Layer, resilient channel, one side only, 5" Type "X" gypsum, 2 1/2" thick Sound Attenuation Batt Insulation	UL U485 1 Hr.	

† Listed in the Gypsum Association "Fire Resistance Design Manual"
Key: SB = Steel Stud

5. Sound Attenuation | Wall Battings

1 MATERIAL SELECTIONS | KeyComponents

A6.2

NOT TO SCALE

Material + Component | Preliminary Selections
* NOT FINAL SPECIFICATIONS

PROJECT NUMBER 2024 014

ISSUE RECORD

NUMBER	DATE	ISSUE REVISION
1	010824	Design Options
2	011524	Pricing Scope

VIEW POINT HEALTH

BUILDING ADDITION |
VIEW POINT HEALTH
CRISIS STABILIZATION UNIT

615 Lawrenceville-Suwanee Road
Lawrenceville, GA 30046
Gwinnett County

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Final selection to be provide on Permit drawings

1 ANTI-LIGATURE | Components
A7
Schematic

NO SCALE

DRAWING
A7

NO SCALE

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**CH 9100SEC
HIGH SECURITY CRESCENT
MORTISE SET**

**THE GOLD STANDARD FOR LIGATURE
RESISTANCE + ADA COMPLIANCE**

Offering advanced safety features, the High Security Crescent Mortise Set is the recommended solution for high, medium, and low risk areas for both new and retrofit installations. Its solid brass construction is designed with institutional strength and durability. This superior lockset comes standard with the High Security Mortise Lock proven to withstand 300% more abuse than the Grade 3 requirement*. It is also compatible with the SilentFac™ Lever Dampening Disc to eliminate disturbance from door noise and improve overall patient experience.


PRODUCT INFORMATION

- The highest level of ligature resistance featuring Repetitive Protection
- UL Listed 3 Hour
- Compatible with any standard mortise cylinder (must be ordered with appropriate cam)
- 626/630 finish standard, anti-microbial plating available
- Supplied with Torx® Security Screws
- Available in large backsets for specialty applications (e.g. acoustical doors, specialty steps, etc.)
- Dimensions: 12 1/4" high by 4 1/2" wide with a projection of 2 1/2"

COMMON FUNCTIONS

- CH 9145SEC Classroom, Patient Rooms
- CH 9125SEC Passage, Non-locking Applications
- CH 9159SEC Storage
- CH 9158SEC Seclusion

*Grade 3 Lock Sets are also available. Accurate Advantage Options + Features

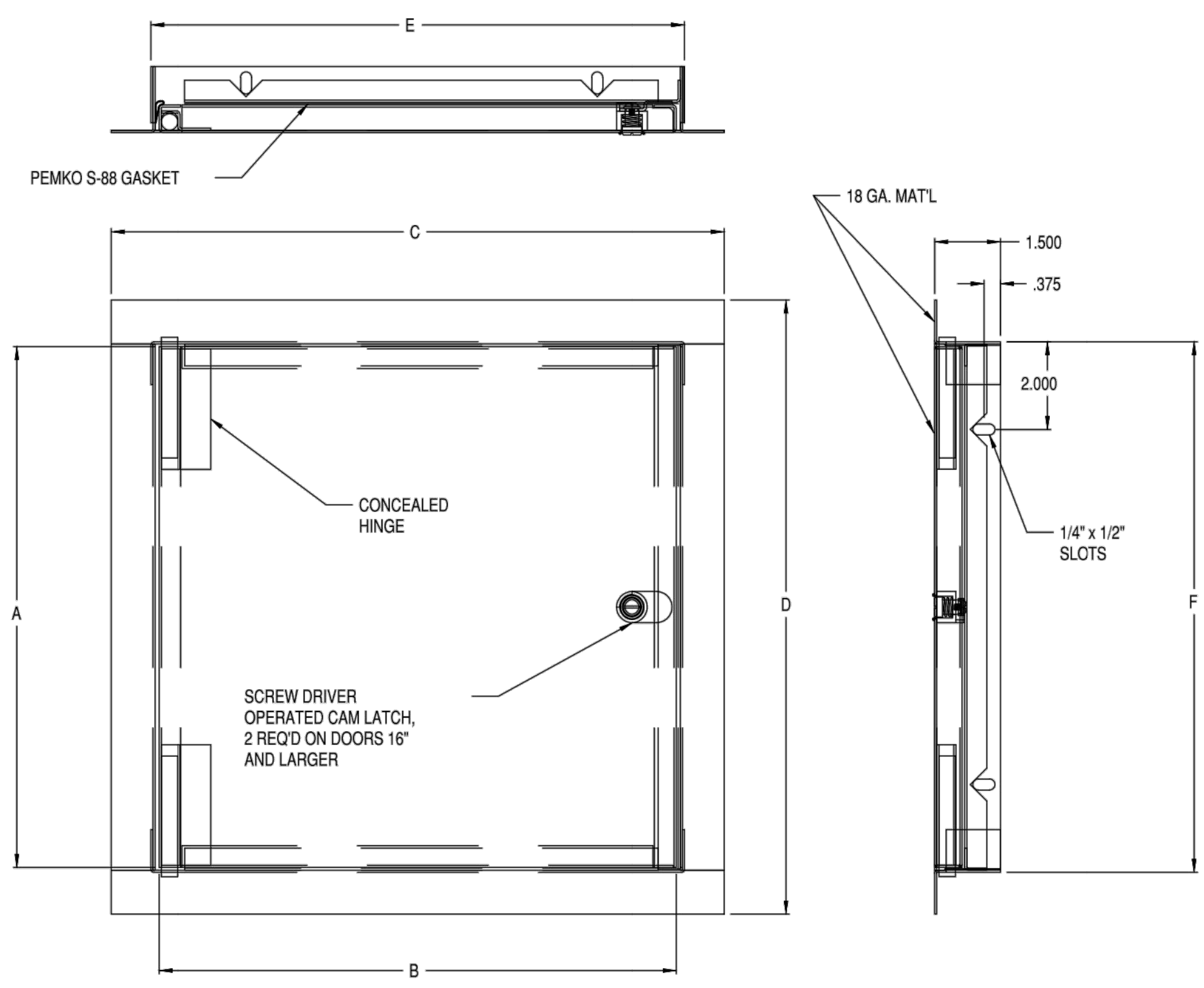


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info@acudoraccesspanels.com
http://AcudorAccessPanels.com

AS-9000

AIR SEAL FLUSH MOUNT

QTY.	NOMINAL SIZE	A	B	C	D	E	F	LATCH
	8 x 8 (203 x 203)	7.875 (200)	7.843 (200)	10.00 (254)	10.00 (254)	8.19 (208)	8.09 (205)	1
	12 x 12 (305 x 305)	11.875 (302)	11.843 (301)	14.00 (355)	14.00 (355)	12.19 (310)	12.09 (307)	1
	16 x 16 (406 x 406)	15.875 (403)	15.843 (402)	18.00 (457)	18.00 (457)	16.19 (411)	16.09 (409)	2
	18 x 18 (457 x 457)	17.875 (454)	17.843 (453)	20.00 (508)	20.00 (508)	18.19 (462)	18.09 (459)	2
	24 x 24 (610 x 610)	23.875 (606)	23.843 (605)	26.00 (660)	26.00 (660)	24.19 (614)	24.09 (612)	2
	24 x 36 (610 x 914)	35.875 (911)	35.843 (910)	26.00 (660)	38.00 (965)	24.19 (614)	36.09 (917)	2



PEMKO S-88 GASKET

CONCEALED HINGE

18 GA. MATL

1.500

.375

2.000

1/4" x 1/2" SLOTS

SCREW DRIVER OPERATED CAM LATCH, 2 REQ'D ON DOORS 16" AND LARGER

STANDARD FEATURES: SCREW DRIVER OPERATED CAM LATCH, CARBON STEEL, PRIME COAT BAKED ENAMEL FINISH

OPTIONS:

<input type="checkbox"/> LOCK TYPE	<input type="checkbox"/> MATERIAL	<input type="checkbox"/> FINISH
<input type="checkbox"/> CYLINDER LOCK & KEY	<input type="checkbox"/> STAINLESS STEEL	<input type="checkbox"/> #4 SATIN POLISH
<input type="checkbox"/> ALLEN HEAD CAM LATCH	<input type="checkbox"/> OTHER	<input type="checkbox"/> OTHER
<input type="checkbox"/> SPANNER HEAD CAM LATCH		
<input type="checkbox"/> THUMB TURN LATCH		
<input type="checkbox"/> OTHER		

JOB NAME: _____ APPROVED BY: _____

CUSTOMER: _____ DATE: _____

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6. DOOR HARDWARE | High Security Mortise Set

*Model # by Room | Area function

SPECIFICATION SHEETS



PRODUCT NAME:	UL Level 3 - Secur-Tem + Poly*
PRODUCT CODE:	SP311
PERFORMANCE TESTING:	Ballistic: UL 752 – Level 3 – UL Listed – File BP844 .44 Magnum Lead Semi-Wadcutter Gas Checked No Spall, No Penetration
CONSTRUCTION:	Product construction is proprietary. This product is glass-clad polycarbonate and contains an exposed polycarbonate surface with an abrasion resistant coating on the witness (safe) side.
THICKNESS:	1.072" Nominal
THICKNESS TOLERANCE:	.998" / 1.145"
WEIGHT:	12.81 Lbs. / Square Foot
SIZE:	60" x 96" Maximum 12" x 12" Minimum
OPTIONS:	Tinted glass, translucent interlayers, transparent mirror, Low Iron glass
TECHNICAL DATA:	U-Value .83 Solar Heat Gain Co-efficient .62 Light Transmission .77
APPLICABLE STANDARDS:	ANSI Z97.1 CPSC 16 CFR 1201 (Category I and II) ASTM C 1036 ASTM C 1349
SINGLE RESPONSIBILITY:	Global Security Glazing products are covered by our Single Responsibility* Program that ensures one firm has handled and is accountable for all phases of manufacturing.
INSTALLATION:	Glass must be installed in a UL Level 3 Bullet Resistant frame system. Holes must be covered with a UL listed device. All glass should be installed in accordance with the guidelines set forth in the current edition of the Glass Association of North America (GANA) Glazing and Sealant Manuals. Glazing systems should incorporate a weep system to allow moisture and water to escape the glazing channel.
	Recommended Clearance: Face: 1/8" per side Edge: 3/8" Bite: 1"

7. SCUTTLE DOOR | Secured Ceiling Access @ Hard Ceiling

8. SELECTIONS | Pending | *Ligature Resistant

- Counter top material | ADMIN
- Casework | ADMIN
- Glass | Separation | ADMIN
- Glass | View | GATHERING
- Glass | Impact resistant | PATIENT + GATHERING
- Counter | LAUNDRY

- Tile | Shower rooms | Floor
- Tile | Shower room | Wall
- Tile | Cove base
- Tile | Grout
- Tile | Sealer
- Cove | Base
- Cove | Fastening

- Paint | Walls
- Paint | Ceilings
- Paint | Trim

PROJECT NUMBER 2024 015

ISSUE RECORD

NUMBER	DATE	ISSUE REVISION
1	010824	Design Options
2	011524	Pricing Scope



BUILDING ADDITION |

VIEW POINT HEALTH

CRISIS STABILIZATION UNIT

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A7.1 ANTI-LIGATURE | Components
Schematic

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A7.1

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2	011524	Pricing Scoo



BUILDING ADDITION |

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Gwinnett County

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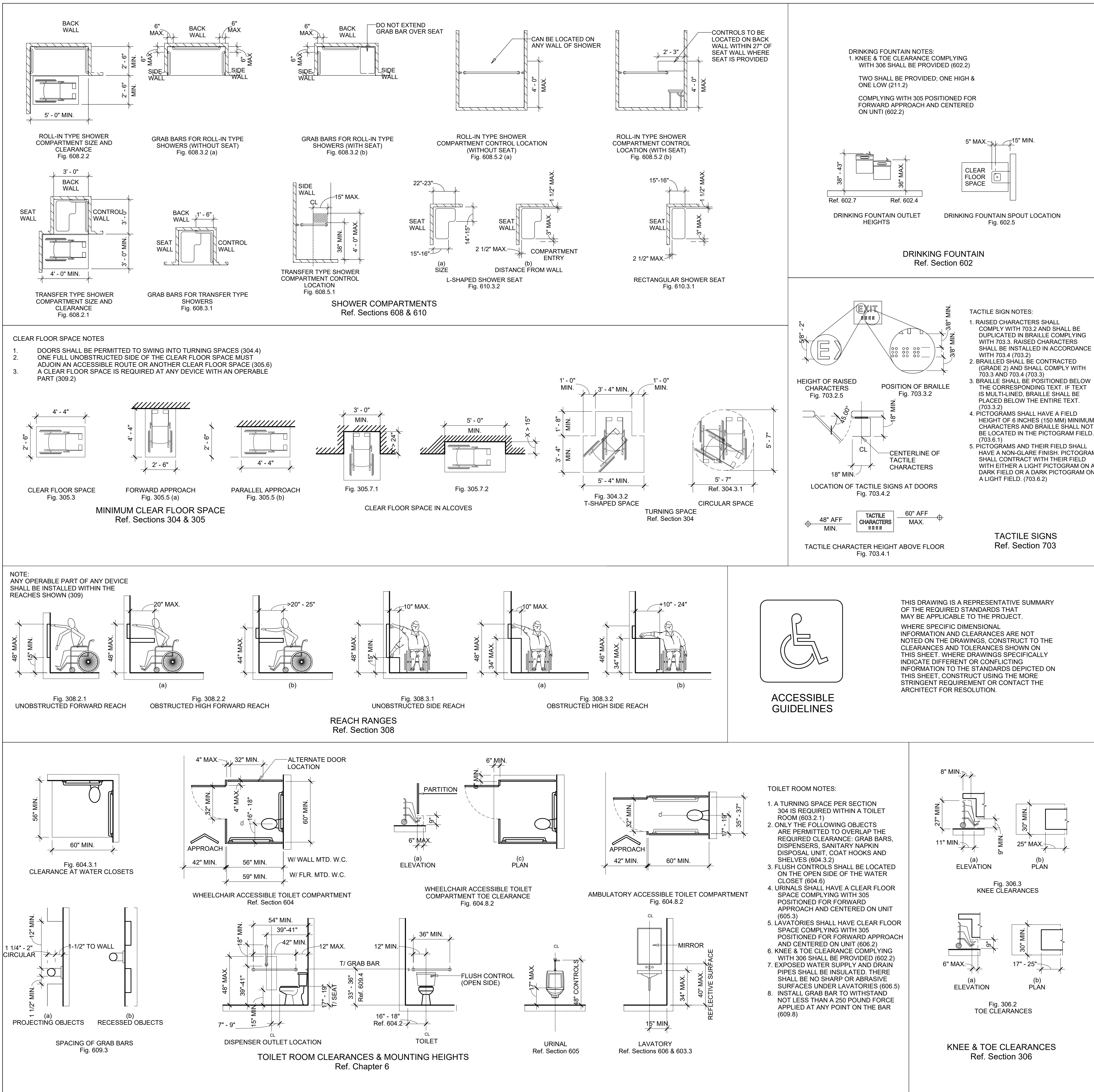
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A8



1
A8

NO SCALE

Accessibility
ADA | Americans with Disabilities Act
Schematic

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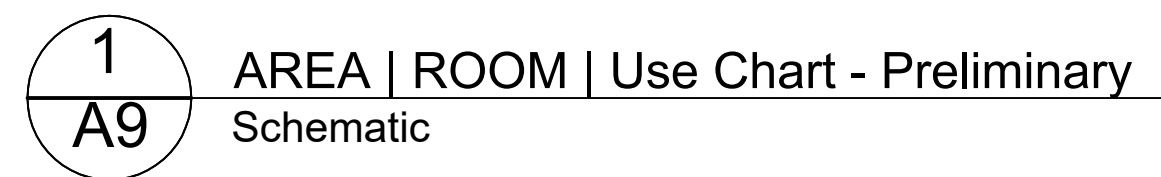
View Point Health | CRISIS STABILIZATION UNIT - Building expansion "PRELIMINARY ASSESSMENT"

1/22/2024 10:21

AREA | ROOM INVENTORY + SCOPE CHART

AREA ROOM	FUNCTION	FLOORING	COVE BASE	WALLS	CEILING FINISH	HARDWARE	HVAC	ELECTRICAL	LIGHTING	LSC Access + Egress	LSC Fire Sprinkler	CEILING ACCESS	WINDOWS	MONITORING	ACCESS CONTROL	REMARKS
1	Multi-Use Room - Existing	LVT	Hard Polymer	Impact Gypsum Painted	Gypsum Painted	ADA JC Compliant	JC Compliant	Add Receptacle @ 12" Above FFE JC Compliant	NA	Per LSC + Delayed exit systems	Flush Protection Sprinkler Heads	NONE	Impact Resistant Panel	Audio Visual	Standard Controls	All specifications pending permit drawings
2	ADA Restrooms All Gender	LVT	Hard Polymer	Impact Gypsum Painted	Gypsum Painted	ADA JC Compliant	JC Compliant	Add Receptacle @ 12" Above FFE JC Compliant	Flush Fixtures	Per LSC + Delayed exit systems	Flush Protection Sprinkler Heads	NONE	Impact Resistant Panel	Audio Visual	Standard Controls	All specifications pending permit drawings
3	Open Beds - Existing	LVT	Hard Polymer	Impact Gypsum Painted	Gypsum Painted	ADA JC Compliant	JC Compliant	Add Receptacle @ 12" Above FFE JC Compliant	NA	Per LSC + Delayed exit systems	Flush Protection Sprinkler Heads	NONE	Impact Resistant Panel	Audio Visual	Standard Controls	All specifications pending permit drawings
4	Nurses Station	LVT	Hard Polymer	Impact Gypsum Painted	Gypsum Painted	ADA JC Compliant	JC Compliant	Add Receptacle @ 12" Above FFE JC Compliant	Standard Fixtures	Per LSC + Delayed exit systems	Flush Protection Sprinkler Heads	NONE	Impact Resistant Panel	Audio Visual	Standard Controls	All specifications pending permit drawings
5	Consult Room	LVT	Hard Polymer	Impact Gypsum Painted	Gypsum Painted	ADA JC Compliant	JC Compliant	Add Receptacle @ 12" Above FFE JC Compliant	Flush Fixtures	Per LSC + Delayed exit systems	Flush Protection Sprinkler Heads	NONE	Impact Resistant Panel	Audio Visual	Standard Controls	All specifications pending permit drawings
6	Vestibule	LVT	Hard Polymer	Impact Gypsum Painted	Gypsum Painted	ADA JC Compliant	JC Compliant	Add Receptacle @ 12" Above FFE JC Compliant	Standard Fixtures	Per LSC + Delayed exit systems	Flush Protection Sprinkler Heads	Flush Metal Secured	Impact Resistant Panel	Audio Visual	Standard Controls	All specifications pending permit drawings
7	Multi-Purpose Meeting + Consult	LVT	Hard Polymer	Impact Gypsum Painted	Gypsum Painted	ADA JC Compliant	JC Compliant	Add Receptacle @ 12" Above FFE JC Compliant	Flush Fixtures	Per LSC + Delayed exit systems	Flush Protection Sprinkler Heads	NONE	Impact Resistant Panel	Audio Visual	Standard Controls	All specifications pending permit drawings
8	CPS Clinician Billing Parapro	LVT	Hard Polymer	Impact Gypsum Painted	Gypsum Painted	ADA JC Compliant	JC Compliant	Add Receptacle @ 12" Above FFE JC Compliant	Standard Fixtures	Per LSC + Delayed exit systems	Flush Protection Sprinkler Heads	NONE	Impact Resistant Panel	Audio Visual	Standard Controls	All specifications pending permit drawings
9	Directors Office	LVT	Hard Polymer	Impact Gypsum Painted	Gypsum Painted	ADA JC Compliant	JC Compliant	Add Receptacle @ 12" Above FFE JC Compliant	Standard Fixtures	Per LSC + Delayed exit systems	Flush Protection Sprinkler Heads	NONE	Impact Resistant Panel	Audio Visual	Standard Controls	All specifications pending permit drawings
10	Open Beds	LVT	Hard Polymer	Impact Gypsum Painted	Gypsum Painted	ADA JC Compliant	JC Compliant	Add Receptacle @ 12" Above FFE JC Compliant	Flush Fixtures	Per LSC + Delayed exit systems	Flush Protection Sprinkler Heads	NONE	Impact Resistant Panel	Audio Visual	Standard Controls	All specifications pending permit drawings
11	ADA Restroom All Gender	LVT	Hard Polymer	Impact Gypsum Painted	Gypsum Painted	ADA JC Compliant	JC Compliant	Add Receptacle @ 12" Above FFE JC Compliant	Flush Fixtures	Per LSC + Delayed exit systems	Flush Protection Sprinkler Heads	NONE	Impact Resistant Panel	Audio Visual	Standard Controls	All specifications pending permit drawings
12	ADA Restroom All Gender	LVT	Hard Polymer	Impact Gypsum Painted	Gypsum Painted	ADA JC Compliant	JC Compliant	Add Receptacle @ 12" Above FFE JC Compliant	Flush Fixtures	Per LSC + Delayed exit systems	Flush Protection Sprinkler Heads	NONE	Impact Resistant Panel	Audio Visual	Standard Controls	All specifications pending permit drawings
13	Tech Station	LVT	Hard Polymer	Impact Gypsum Painted	Gypsum Painted	ADA JC Compliant	JC Compliant	Add Receptacle @ 12" Above FFE JC Compliant	Flush Fixtures	Per LSC + Delayed exit systems	Flush Protection Sprinkler Heads	NONE	Impact Resistant Panel	Audio Visual	Standard Controls	All specifications pending permit drawings
14	Quiet Room	LVT	Hard Polymer	Impact Gypsum Painted	Gypsum Painted	ADA JC Compliant	JC Compliant	Add Receptacle @ 12" Above FFE JC Compliant	Flush Fixtures	Per LSC + Delayed exit systems	Flush Protection Sprinkler Heads	NONE	Impact Resistant Panel	Audio Visual	Standard Controls	All specifications pending permit drawings

END INVENTORY



NO SCALE



BUILDING ADDITION |

VIEW POINT HEALTH

CRISIS STABILIZATION UNIT

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Gwinnett County

OWNERSHIP |

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