

# CIVIL SITE DEVELOPMENT DRAWINGS FOR: BRITT STREET SPUR

TAX MAP ID: 5135A065

LAT: 33.893380

LONG: -83.956209

ZONING: PUD

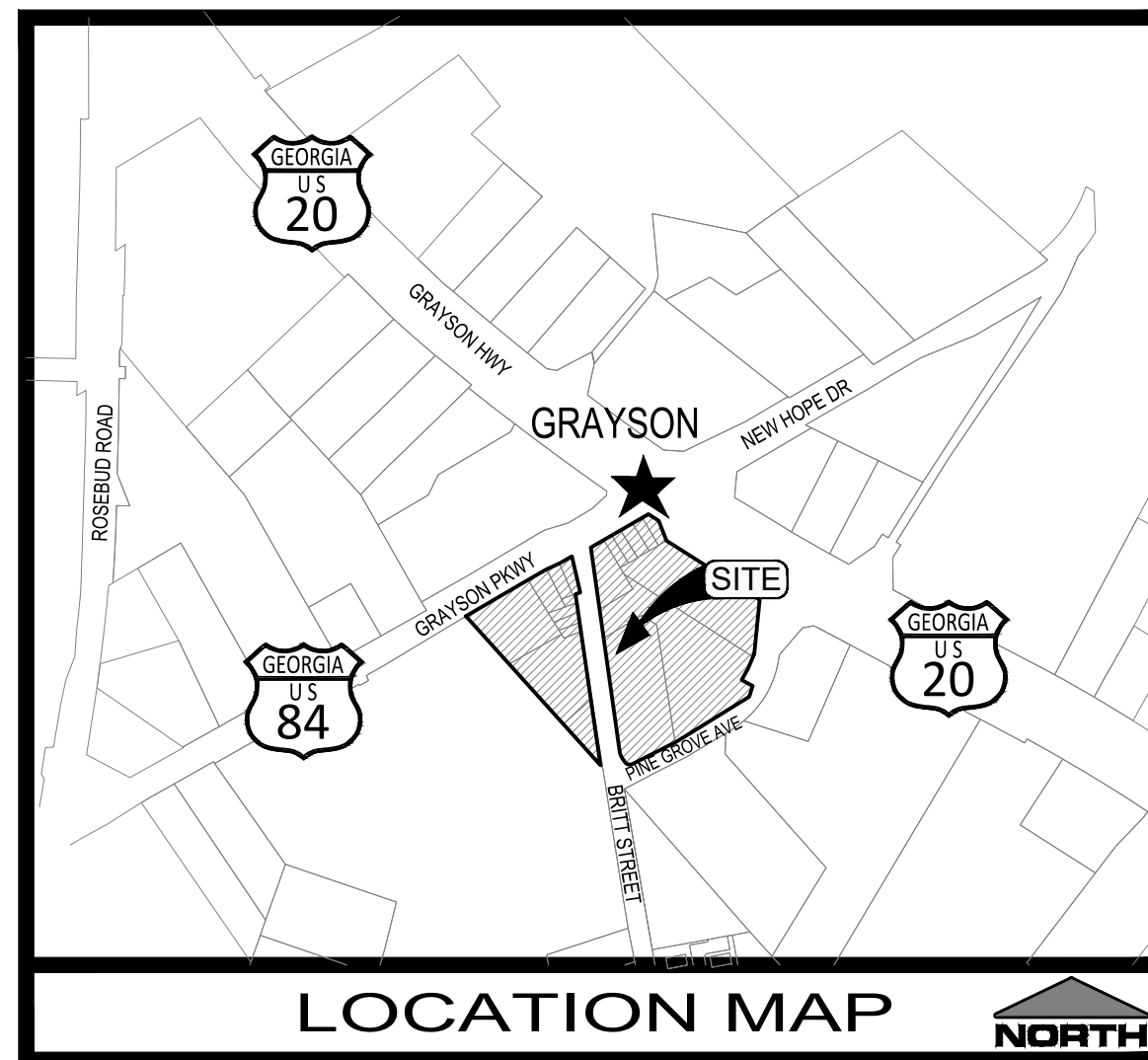
LEGEND :			
P.O.B.	POINT OF BEGINNING	DIP	DUCTILE IRON PIPE
L.L.	LAND LOT	PVC	POLYVINYLCHLORIDE PIPE
R/W	RIGHT OF WAY	C.B.	CATCH BASIN
N/F	NEW OR FORMERLY	C.I.	CURB INLET
D.B.	DEED BOOK	D.I.	DROP INLET
C.T.F.	CRIMPED TOP FOUND	W.B.	WIER BOX
R.B.F.	REBAR FOUND	J.B.	JUNCTION BOX
O.T.F.	OPEN TOP FOUND	F.E.S.	FLARED END SECTION
A.X.F.	AXLE FOUND	H.W.	HEAD WALL
A.I.F.	ANGLE IRON FOUND	W.I.	WIER INLET
R.R.F.	RAILROAD SPIKE FOUND	S.M.H.	SANITARY MANHOLE
H.T.F.	HUB & TACK FOUND	C/O	CLEAN OUT
N.F.	NAIL FOUND	SO	STUB OUT
S.X.F.	SCRIBED "X" FOUND	INV.	INVERT
M.N.F.	MONUMENT FOUND	E.M.H.	ELECTRIC MANHOLE
R.B.S.	REBAR SET	→	OVERHEAD POWER LINE
S.X.S.	SCRIBED "X" SET	E.O.	ELECTRIC OUTLET
M.N.S.	MONUMENT SET	●	UTILITY POLE
H.T.S.	HUB & TACK SET	-P-	UNDERGROUND POWER LINE
N.S.	NAIL SET	←	GUY WIRE
M.M.	MILE MARKER	□	ELECTRIC METER
B.M.	BENCHMARK	P/P	POWER POLE
CMP	CORRUGATED METAL PIPE	TRANS.	TRANSFORMER
RCP	REINFORCED CONCRETE PIPE	L/P	LIGHT POLE
F.H.	FIRE HYDRANT	I.C.V.	IRRIGATION CONTROL VALVE
-W-	WATER LINE	WM	WATER METER
WV	WATER VALVE	SH	SPRINKLER HEAD
HB	HOSE BIB	VM	VALVE MARKER
HCP	HANDICAPPED PARKING	SI	SIGN POST
SC	SIAMASE CONNECTION	G.M.	GAS METER
G.V.	GAS VALVE	G.L.	GAS LINE
-T-	TELEPHONE LINE	TM	TELEPHONE MANHOLE
T.B.	TELEPHONE BOX	-C-	CABLE LINE
TM	TELEPHONE MARKER	B.L.	BUILDING LINE
CL	CENTERLINE	E/P	EDGE OF PAVEMENT
M.W.	MONITORING WELL		

**UTILITY NOTE :**  
APPROXIMATE LOCATIONS OF UNDERGROUND UTILITIES, AS SHOWN BY THIS SURVEY, ARE BASED UPON FIELD OBSERVATION ONLY. ROBBINS LAND SURVEYING, INC. IS UNABLE TO CERTIFY TO THE ACCURACY OR COMPLETENESS OF THIS INFORMATION. ALL UNDERGROUND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION BY THE UTILITY PROTECTION CENTER AT 811.

UNDERGROUND UTILITIES SERVING OR CROSSING THE PREMISES MAY EXIST THAT ARE NOT SHOWN. ROBBINS LAND SURVEYING, INC. MAY NOT HAVE FULL KNOWLEDGE OF ALL UNDERGROUND UTILITIES.

ABOVE GROUND UTILITY LOCATIONS WERE OBTAINED FROM FIELD OBSERVATIONS. ABANDONED UNDERGROUND UTILITY LINES, IF ANY, ARE NOT SHOWN.

**DISTURBED AREA:**  
0.40 ACRES



### ANTICIPATED CONSTRUCTION SCHEDULE

ACTIVITY	2024																			
	MO. 1				MO. 2				MO. 3				MO. 4				MO. 5			
	1	2	3	4	1	2	3	4	1	2	3	4	1	2	3	4	1	2	3	4
EROSION CONTROL / BMP INSTALLATION																				
EROSION CONTROL / BMP MAINTENANCE*																				
DEMOLITION																				
GRADING																				
STORM DRAINAGE																				
UTILITIES (WATER, SEWER, ETC.)																				
PARKING SUBBASE																				
BUILDING																				
FINAL PAVING																				
LANDSCAPING & GRASSING																				

\* MAINTENANCE OF EROSION AND SEDIMENT CONTROL WILL BE MONITORED DAILY AND INSPECTED WEEKLY THROUGHOUT PROJECT.  
\*\* NOTIFY INSPECTOR 24 HOURS BEFORE BEGINNING EVERY PHASE OF CONSTRUCTION.  
\*\*\* CONTRACTOR IS TO REMOVE ALL TEMPORARY SEDIMENT CONTROL AFTER FINAL STABILIZATION OF SITE.

### CERTIFICATE OF DEVELOPMENT PLANS APPROVAL:

"ALL REQUIREMENTS OF THE CITY OF GRAYSON DEVELOPMENT REGULATIONS RELATIVE TO THE PREPARATION AND SUBMISSION OF A DEVELOPMENT PERMIT APPLICATION HAVING BEEN FULFILLED, AND SAID APPLICATION AND ALL SUPPORTING PLANS AND DATA HAVING BEEN REVIEWED AND APPROVED BY ALL AFFECTED AGENCIES AS REQUIRED UNDER THEIR RESPECTIVE AND APPLICABLE REGULATIONS, APPROVAL IS HEREBY GRANTED, ON THIS SITE PLAN AND ALL OTHER DEVELOPMENT PLANS ASSOCIATED WITH THIS PROJECT, SUBJECT TO ALL FURTHER PROVISIONS OF SAID DEVELOPMENT AND OTHER CITY EXISTING REGULATIONS."

MAYOR, CITY OF GRAYSON

DATE



72 HRS NOTICE IS REQUIRED TO GEORGIA 811 UTILITY PROTECTION CENTER BEFORE ANY PLANNED DIGGING.

FOR STAND ALONE PROJECTS THAT BEGIN CONSTRUCTION ACTIVITY AFTER THE EFFECTIVE DATE OF THIS PERMIT, THE PRIMARY PERMITTEE MUST RETAIN THE DESIGN PROFESSIONAL WHO PREPARED THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, OR AN ALTERNATIVE DESIGN PROFESSIONAL APPROVED BY EPD IN WRITING, TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPs WHICH THE DESIGN PROFESSIONAL DESIGNED WITHIN SEVEN (7) DAYS AFTER INSTALLATION. THE DESIGN PROFESSIONAL SHALL DETERMINE IF THESE BMPs HAVE BEEN INSTALLED AND ARE BEING MAINTAINED AS DESIGNED. THE DESIGN PROFESSIONAL SHALL REPORT THE RESULTS OF THE INSPECTION TO THE PRIMARY PERMITTEE WITHIN SEVEN (7) DAYS AND THE PERMITTEE MUST CORRECT ALL DEFICIENCIES WITHIN TWO (2) BUSINESS DAYS OF RECEIPT OF THE INSPECTION REPORT FROM THE DESIGN PROFESSIONAL UNLESS WEATHER RELATED SITE CONDITIONS ARE SUCH THAT ADDITIONAL TIME IS REQUIRED.

REVISIONS OR AMENDMENTS TO THESE PLANS SHOULD BE SUBMITTED TO THE LOCAL ISSUING AUTHORITY FOR REVIEW.

### NPDES CERTIFICATIONS

- I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" (MANUAL PUBLISHED BY THE STATE SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED, PROVIDES FOR THE SAMPLING OF THE RECEIVING WATER(S) OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES MEETS THE DESIGN REQUIREMENTS AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GAR 100001.
- I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION.
- GEORGIA'S 2012 OR SUBSEQUENT 305(b)(305)(6) LIST DOCUMENTS HAVE BEEN CONSULTED. IT WAS DETERMINED THAT THIS SITE DOES NOT DRAIN INTO AN IMPAIRED STREAM SEGMENT, NOR IS WITHIN 1 LINEAR MILE UPSTREAM OF AND WITHIN THE SAME WATERSHED AS, ANY PORTION OF A BOTTLA IMPAIRED STREAM SEGMENT.

ROBERT A. CONE, R.L.A. # 1151, GSWCC # 39604  
DATE: 4/2/24

### UTILITY NOTES:

- CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO EXCAVATION OR DEMOLITION. ADDITIONAL UTILITIES MAY NOT BE SHOWN ON THESE PLANS.
- IF THE CONTRACTOR DAMAGES ANY EXISTING UTILITIES DURING CONSTRUCTION, HE SHALL, AT HIS OWN EXPENSE, REPLACE OR REPAIR THE UTILITIES TO THEIR ORIGINAL CONDITION AND QUALITY, AS APPROVED BY THE ENGINEER AND REPRESENTATIVE OF THE APPROPRIATE UTILITY COMPANY.
- THE CONTRACTOR SHALL NOTIFY EACH INDIVIDUAL UTILITY OWNER OF HIS PLAN OF OPERATION IN THE AREA OF UTILITIES. PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL CONTACT THE UTILITY OWNERS AND REQUEST THEM TO PROPERLY LOCATE THEIR RESPECTIVE UTILITY ON THE GROUND. THIS NOTIFICATION SHALL BE GIVEN AT LEAST THREE BUSINESS DAYS PRIOR TO COMMENCEMENT OF OPERATIONS BETWEEN 7:00AM AND 7:00PM MONDAY THRU FRIDAY.
- UNLESS OTHERWISE NOTED, UTILITY OWNERS ARE TO RESET, RELAY, OR READJUST ALL PUBLIC AND PRIVATE UTILITIES CONFLICTING WITH PROPOSED IMPROVEMENT. THE CONTRACTOR WILL BE REQUIRED TO COOPERATE WITH THE OWNERS OF LOCAL UTILITIES IN THE ADJUSTMENT OF THEIR FACILITIES WHERE THEY INTERFERE WITH CONSTRUCTION. THE COSTS FOR THIS WORK WILL BE AT THE CONTRACTOR'S EXPENSE.
- ALL MATERIALS AND INSTALLATION SHALL BE IN COMPLIANCE WITH LOCAL REQUIREMENTS.
- CONTRACTOR TO INSTALL BACKFLOW PREVENTER AT ALL WATER METER LOCATIONS.
- MINIMUM COVER FOR ALL WATER LINES SHALL BE 48 INCHES.
- SEE ARCHITECTURAL PLANS FOR LOCATION OF WATER, SEWER AND GAS LINES WITHIN PROPOSED BUILDING.
- A MINIMUM HORIZONTAL SEPARATION OF 10 FEET SHALL BE MAINTAINED BETWEEN WATER LINES AND SANITARY SEWERS. AN 18 INCH MINIMUM VERTICAL SEPARATION SHALL BE MAINTAINED AT CROSSINGS. WHEN CROSSING A WATERLINE OR SEWER LINE, PIPE JOINTS SHALL BE PLACED AS FAR AWAY AS POSSIBLE FROM THE OTHER PIPE.

LEVEL II CERTIFIED DESIGN PROFESSIONAL

**GSWCC**  
GEORGIA SOIL AND WATER CONSERVATION COMMISSION  
ROBERT A. CONE, R.L.A.  
CERTIFICATION NUMBER: 0000039604  
EXPIRES: 05/21/2026

PREPARED BY  
**Land Solution Associates, LLC**  
P.O. Box 187  
Tiger, GA 30576  
(o) 678.725.4631  
(e) landsolutionsassociates@gmail.com  
CONTACT: ROBERT 'BOB' CONE

OWNER/DEVELOPER:  
**GRAY RAIL, LLC**  
3343 BEECH HOLLOW COURT  
LOGANVILLE, GA 30052  
24-HR CONTACT:  
JOHN LANGE 404-731-7811  
lange.john@comcast.net

BRITT STREET SPUR

LAND LOT 135 - 5th DISTRICT  
PARCEL ID: 5135A065  
CITY OF GRAYSON (GWINNETT CO.), GEORGIA

COVER  
SHEET TITLE:

SIGNED / SEALED



DATE:

REVISION

No.

DESIGNED BY: RAC

SCALE: AS SHOWN

DRAWN BY: JAM

**C-1**  
SHEET

CHECKED BY: RAC

24-006

2-Apr-24

SHEET INDEX	
SHT. #	SHEET TITLE
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**EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN CHECKLIST  
STAND ALONE CONSTRUCTION PROJECTS**

SWCD: \_\_\_\_\_  
 Project Name: Britt Street Spur Address: (TBD)  
 City/County: Grayson (Gwinnett Co.) Date on Plans: 4/2/24  
 Name & email of person filling out checklist: Robert "Bo" Cone - landsolutionassociates@gmail.com

Plan Included **TO BE SHOWN ON ES&PC PLAN**

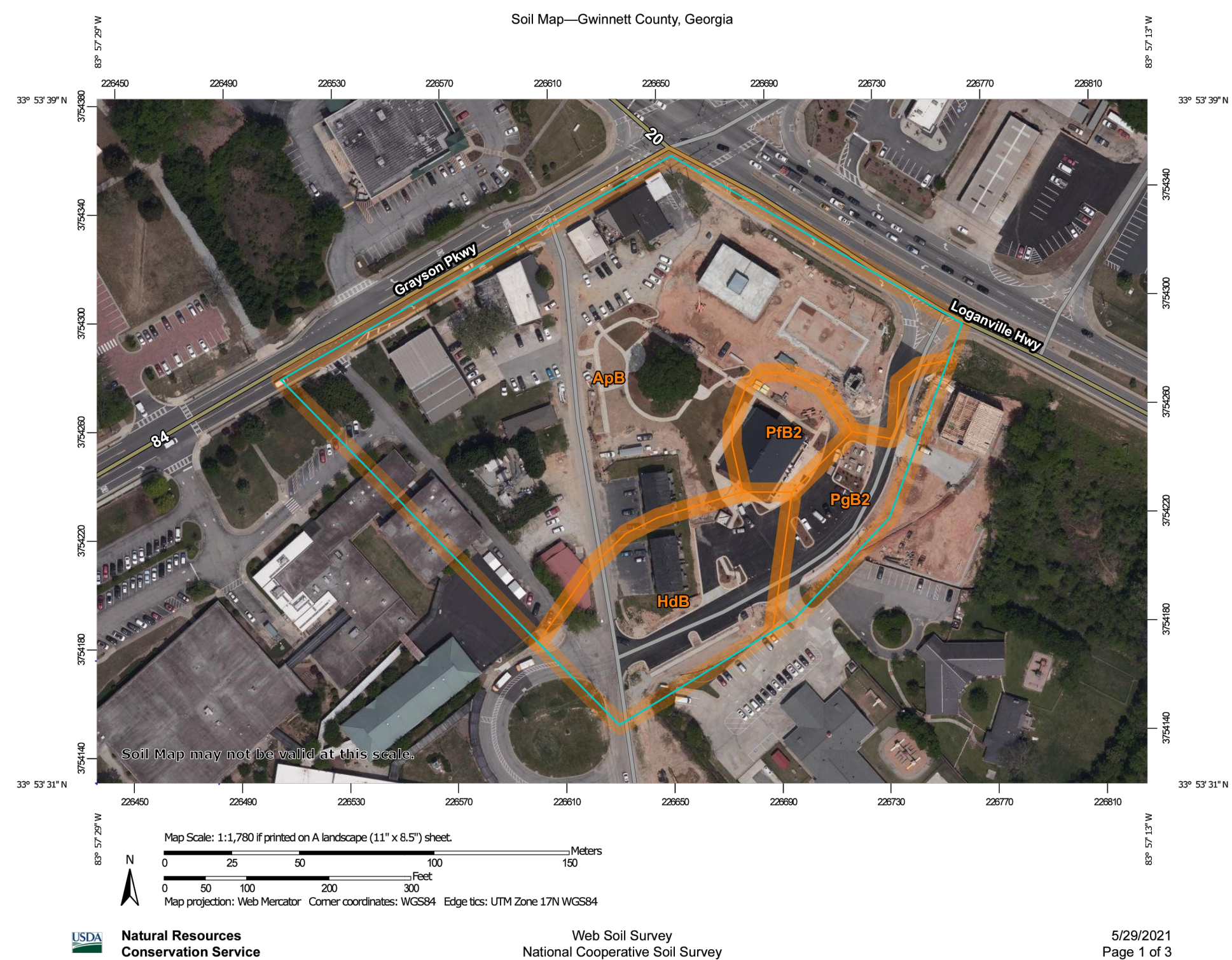
Page # 2 Y/N Y

- 1 The applicable Erosion, Sedimentation and Pollution Control Plan Checklist established by the Commission as of January 1 of the year in which the land-disturbing activity was permitted.  
(The completed Checklist must be submitted with the ES&PC Plan or the Plan will not be reviewed)
- 2 Level II certification number issued by the Commission, signature and seal of the certified design professional. (Signature, seal and Level II number must be on each sheet pertaining to ES&PC plan or the Plan will not be reviewed)
- 3 Limits of disturbance shall be no greater than 50 acres at any one time without prior written authorization from the GAEPD District Office. If GAEPD approves the request to disturb 50 acres or more at any one time, the Plan must include at least 4 of the BMPs listed in Appendix 1 of this checklist and the GAEPD approval letter. \* (A copy of the written approval by GAEPD must be attached to the plan for the Plan to be reviewed.)
- 4 The name and phone number of the 24-hour contact responsible for erosion, sedimentation and pollution controls.
- 5 Provide the name, address, email address, and phone number of primary permittee.
- 6 Note total and disturbed acreages of the project or phase under construction.
- 7 Provide the GPS location of the construction exit for the site. Give the Latitude and Longitude in decimal degrees.
- 8 Initial date of the Plan and the dates of any revisions made to the Plan including the entity who requested the revisions.
- 9 Description of the nature of construction activity and existing site conditions.
- 10 Provide vicinity map showing site's relation to surrounding areas. Include designation of specific phase, if necessary.
- 11 Identify the project receiving waters and describe all sensitive adjacent areas including streams, lakes, residential areas, wetlands, marshlands, etc. which may be affected.
- 12 Design professional's certification statement and signature that the site was visited prior to development of the ES&PC Plan as stated on **Part IV page 19** of the permit.
- 13 Design professional's certification statement and signature that the permittee's ES&PC Plan provides for an appropriate and comprehensive system of BMPs and sampling to meet permit requirements as stated on **Part IV page 19** of the permit. \*
- 14 Clearly note the statement that "The design professional who prepared the ES&PC Plan is to inspect the installation of the initial sediment storage requirements and perimeter control BMPs within 7 days after installation." in accordance with **Part IV A.5 page 25** of the permit. \*
- 15 Clearly note the statement that "Non-exempt activities shall not be conducted within the 25 or 50-foot undisturbed stream buffers as measured from the point of wrested vegetation or within 25-foot of the coastal marshland buffer as measured from the Jurisdictional Determination Line without first acquiring the necessary variances and permits."
- 16 Provide a description of any buffer encroachments and indicate whether a buffer variance is required.
- 17 Clearly note the statement that "Amendments/revisions to the ES&PC Plan which have a significant effect on BMPs with a hydraulic component must be certified by the design professional." \*

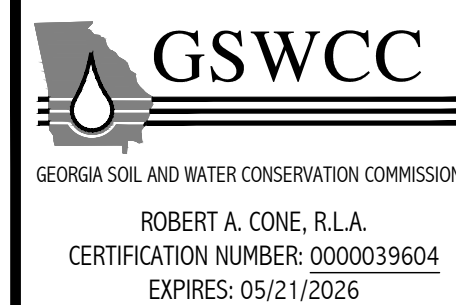
- 18 Clearly note the statement that "Waste materials shall not be discharged to waters of the State, except as authorized by a Section 404 permit." \*
- 19 Clearly note statement that "The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures and practices prior to land disturbing activities."
- 20 Clearly note statement that "Erosion control measures will be maintained at all times. If full implementation of the approved Plan does not provide for effective erosion control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source."
- 21 Clearly note the statement "Any disturbed area left exposed for a period greater than 14 days shall be stabilized with mulch or temporary seeding."
- 22 Any construction activity which discharges storm water into an Impaired Stream Segment, or within 1 linear mile upstream of and within the same watershed as, any portion of a Biot Impaired Stream Segment must comply with Part III. C. of the permit. Include the completed Appendix 1 listing all the BMPs that will be used for those areas of the site which discharge to the Impaired Stream Segment. \*
- 23 If a TMDL Implementation Plan for sediment has been finalized for the Impaired Stream Segment (identified in Item 22 above) at least six months prior to submittal of NOI, the ES&PC Plan must address any site-specific conditions or requirements included in the TMDL Implementation Plan. \*
- 24 BMPs for concrete washdown of tools, concrete mixer chutes, hoppers and the rear of the vehicles. Washout of the drum at the construction site is prohibited. \*
- 25 Provide BMPs for the remediation of all petroleum spills and leaks.
- 26 Description of the measures that will be installed during the construction process to control pollutants in storm water that will occur after construction operations have been completed. \*
- 27 Description of practices to provide cover for building materials and building products on site. \*
- 28 Description of the practices that will be used to reduce the pollutants in storm water discharges. \*
- 29 Description and chart or timeline of the intended sequence of major activities which disturb soils for the major portions of the site (i.e., initial perimeter and sediment storage BMPs, clearing and grubbing activities, excavation activities, utility activities, temporary and final stabilization).
- 30 Provide complete requirements of Inspections and record keeping by the primary permittee. \*
- 31 Provide complete requirements of Sampling Frequency and Reporting of sampling results. \*
- 32 Provide complete details for Retention of Records as per Part IV.F. of the permit. \*
- 33 Description of analytical methods to be used to collect and analyze the samples from each location. \*
- 34 Appendix B rationale for NTU values at all outfall sampling points where applicable. \*
- 35 Delineate all sampling locations, perennial and intermittent streams and other water bodies into which storm water is discharged. \*
- 36 A description of appropriate controls and measures that will be implemented at the construction site including: (1) initial sediment storage requirements and perimeter control BMPs, (2) intermediate grading and drainage BMPs, and (3) final BMPs. For construction sites where there will be no mass grading and the initial perimeter control BMPs, intermediate grading and drainage BMPs, and final BMPs are the same, the Plan may combine all of the BMPs into a single phase. \*

- 37 Graphic scale and North arrow.
- 38 Existing and proposed contour lines with contour lines drawn at an interval in accordance with the following:
 

Map Scale	Ground Slope	Contour Intervals, ft.
1 inch = 100ft or larger scale	Flat 0 - 2% Rolling 2 - 8% Steep 8% +	0.5 or 1 1 or 2 2.5 or 10
- 39 Use of alternative BMPs whose performance has been documented to be equivalent to or superior to conventional BMPs as certified by a Design Professional (unless disapproved by GAEPD or the Georgia Soil and Water Conservation Commission). Please refer to the Alternative BMP Guidance Document found at [www.gaswcc.org/Georgia](http://www.gaswcc.org/Georgia).
- 40 Use of alternative BMP for application to the Equivalent BMP List. Please refer to Appendix A-2 of the Manual for Erosion & Sediment Control in Georgia 2016 Edition. \*
- 41 Delineation of the applicable 25-foot or 50-foot undisturbed buffers adjacent to state waters and any additional buffers required by the Local Issuing Authority. Clearly note and delineate all areas of impact.
- 42 Delineation of on-site wetlands and all state waters located on and within 200 feet of the project site.
- 43 Delineation and acreage of contributing drainage basins on the project site.
- 44 Provide hydrology study and maps of drainage basins for both the pre- and post-developed conditions. \*
- 45 An estimate of the runoff coefficient or peak discharge flow of the site prior to and after construction activities are completed.
- 46 Storm-drain pipe and weir velocities with appropriate outlet protection to accommodate discharges without erosion. Identify/Delineate all storm water discharge points.
- 47 Soil series for the project site and their delineation.
- 48 The limits of disturbance for each phase of construction.
- 49 Provide a minimum of 67 cubic yards of sediment storage per acre drained using a temporary sediment basin, retrofitted detention pond, and/or excavated inlet sediment traps for each common drainage location. Sediment storage volume must be in place prior to and during all land disturbance activities until final stabilization of the site has been achieved. A written justification explaining the decision to use equivalent controls when a sediment basin is not attainable must be included in the Plan for each common drainage location in which a sediment basin is not provided. A written justification as to why 67 cubic yards of storage is not attainable must also be given. Worksheets from the Manual included for structural BMPs and all calculations used by the storage design professional to obtain the required sediment when using equivalent controls. When discharging from sediment basins and impoundments, permittees are required to utilize outlet structures that withdraw water from the surface, unless infeasible. If outlet structures that withdraw water from the surface are not feasible, a written justification explaining this decision must be included in the Plan.
- 50 Location of Best Management Practices that are consistent with and no less stringent than the Manual for Erosion and Sediment Control in Georgia. Use uniform coding symbols from the Manual, Chapter 6, with legend.
- 51 Provide detailed drawings for all structural practices. Specifications must, at a minimum, meet the guidelines set forth in the Manual for Erosion and Sediment Control in Georgia.
- 52 Provide vegetative plan, noting all temporary and permanent vegetative practices. Include species, planting dates and seeding, fertilizer, lime and mulching rates. Vegetative plan shall be site specific for appropriate time of the year that seeding will take place and for the appropriate geographic region of Georgia.  
\* If using this checklist for a project that is less than 1 acre and not part of a common development but within 200 ft of a perennial stream, the \* checklist items would be N/A.



RUSLE2 Related Attributes—Gwinnett County, Georgia								
Map symbol and soil name	Pct. of map unit	Slope length (ft)	Hydrologic group	Kf	T factor	Representative value		
						% Sand	% Silt	% Clay
ApB—Appling-Hard Labor complex, 2 to 6 percent slopes								
Appling	60	121	B	.17	5	67.9	19.6	12.5
Hard Labor	25	121	C	.20	5	67.9	19.6	12.5
HdB—Hard Labor sandy loam, 2 to 6 percent slopes								
Hard Labor	100	121	C	.20	5	67.9	19.6	12.5
PtB2—Pacolet sandy loam, 2 to 6 percent slopes, moderately eroded								
Pacolet, moderately eroded	100	151	B	.15	5	67.0	15.0	18.0
PgB2—Pacolet sandy clay loam, 2 to 6 percent slopes, moderately eroded								
Pacolet, moderately eroded	99	180	B	.15	5	55.1	17.4	27.5



OWNER/DEVELOPER:  
**GRAY RAIL, LLC**  
 3343 BEECH HOLLOW COURT  
 LOGANVILLE, GA 30052  
 24-HR CONTACT:  
 JOHN LANGE 404-731-7811  
 lange.john@comcast.net

BRITT STREET SPUR  
 LAND LOT 135 - 5th DISTRICT  
 PARCEL ID: 5135A065  
 CITY OF GRAYSON (GWINNETT CO.), GEORGIA  
 SHEET TITLE:  
 GSWCC CHECKLIST & SOILS INFO

SIGNED / SEALED



DATE:	
REVISION	
No.	

DESIGNED BY: RAC SCALE: AS SHOWN  
 DRAWN BY: JAM  
 CHECKED BY: RAC SHEET  
**C-2**  
 24-006 2-Apr-24

GENERAL NOTES:

- 1. THE ENGINEER SHALL BE UNDERSTOOD TO LAND SOLUTION ASSOCIATES, LLC, WHO IS THE AUTHORIZED REPRESENTATIVE OF THE OWNER.
2. ANY DEVIATIONS FROM THESE PLANS AND SPECIFICATIONS WITHOUT THE PRIOR CONSENT OF THE ENGINEER MAY BE CAUSE FOR THE WORK TO BE UNACCEPTABLE TO THE ENGINEER.
3. PROJECT INFORMATION: ADDRESS: 2132 BRITT STREET, PARCEL ID: 5135A065, TOTAL ACREAGE: 4.13 AC. ACRES (BEFORE R/W DEDICATION), DISTURBED AREA: 0.40 ACRES, ZONING: PUD
4. PROPOSED PROJECT IS FOR ADDITIONAL PARKING.
5. BOUNDARY & TOPOGRAPHIC SURVEY PREPARED BY ROBBINS LAND SURVEYING, DATED MAY 19, 2021. DATUM: GWINNETT CO. GCS
6. THIS PROPERTY DOES NOT LIE IN A 100-YR FLOOD ZONE AS SHOWN ON FIRM COMMUNITY PANEL No. 13135C00119F, DATED SEPT. 29, 2006.
7. ALL CURB DIMENSIONS ARE TO BACK OF CURB UNLESS NOTED.
8. HANDICAP PARKING SPACES SHALL BE DESIGNATED AS RESERVED FOR DISABLED BY A SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. SUCH SIGNS SHALL NOT BE OBTAINED BY VEHICLES PARKING IN THE SPACES.
9. ALL WORK SHALL COMPLY WITH APPLICABLE STATE, FEDERAL AND LOCAL CODES. THE CONTRACTOR, AT HIS EXPENSE, SHALL OBTAIN LOCAL CODES AND ALL NECESSARY LICENSES AND PERMITS.
10. ALL CONSTRUCTION TO COMPLY WITH CITY OF GRAYSON STANDARDS.
11. ALL ROAD CONSTRUCTION MATERIALS AND PROCEDURES SHALL CONFORM TO CITY OF GRAYSON, GWINNETT COUNTY DEPARTMENT OF TRANSPORTATION STANDARDS OR GEORGIA DEPARTMENT OF TRANSPORTATION WHERE APPLICABLE.
12. EACH BUILDING AND ITS RELATIVE LOCATION TO PROPERTY LINES AND OTHER STRUCTURES SHALL COMPLY WITH THE 2012 INTERNATIONAL BUILDING CODE (IBC) WITH GEORGIA STATE AMENDMENTS WITH REGARDS TO THE HEIGHT AND AREA REQUIREMENTS OF IBC TABLE 503 AND THE FIRE RESISTANCE AND HORIZONTAL SEPARATION REQUIREMENTS OF IBC TABLES 601 AND 602.
13. HIGH INTENSITY LIGHTING FACILITIES SHALL BE SO ARRANGED THAT THE SOURCE OF ANY LIGHT IS CONCEALED FROM PUBLIC VIEW AND FROM RESIDENTIAL PROPERTY AND DOES NOT INTERFERE WITH TRAFFIC.
14. EACH BUSINESS SHALL POST AND MAINTAIN THE ADDRESS OF THE BUILDING IN A CONSPICUOUS PLACE VISIBLE FROM THE STREET NOT MORE THAN 15 FEET OFF THE CURB OR EDGE OF THE STREET. THE ADDRESS SHALL CONSIST OF FIGURES AT LEAST 4 INCHES HIGH ON CONTRASTING BACKGROUND FOR 24 HOURS VISIBILITY.

ADDITIONAL SITE NOTES:

- 1. NOTIFY CITY OF GRAYSON INSPECTIONS 24 HOURS BEFORE BEGINNING OF EVERY PHASE OF CONSTRUCTION (678.518.6070).
2. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL SITE IMPROVEMENTS HAVE BEEN COMPLETED.
3. NO DRIVE-UP WINDOWS ARE TO BE INSTALLED.
4. HIGH INTENSITY LIGHTING FACILITIES SHALL BE SO ARRANGED THAT THE SOURCE OF ANY LIGHT IS CONCEALED FROM PUBLIC VIEW AND FROM ADJACENT RESIDENTIAL PROPERTY AND DOES NOT INTERFERE WITH TRAFFIC.
5. ALL BUFFERS AND TREE SAVE AREAS SHALL BE CLEARLY IDENTIFIED BY FLAGGING AND/OR FENCING PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE.
6. NO OUTSIDE STORAGE PROPOSED. THIS INCLUDES SUPPLIES, EQUIPMENT, VEHICLES, PRODUCTS, ETC.
7. SIGNS, LOCATION, NUMBER, AND SIZE ARE NOT APPROVED UNDER THIS BUILDING PERMIT. A SEPARATE PERMIT IS REQUIRED FOR EACH SIGN.
8. ALL CONSTRUCTION TO COMPLY WITH CITY OF GRAYSON, GWINNETT COUNTY, OR GEORGIA DEPARTMENT OF TRANSPORTATION STANDARDS WHERE APPLICABLE.
9. NO BILLBOARDS ARE PERMITTED.
10. NATURAL VEGETATION SHALL REMAIN ON THE PROPERTY UNTIL ISSUANCE OF A DEVELOPMENT PERMIT. NO INTERIM LAND DISTURBANCE PERMITS SHALL BE ISSUED.
11. IF NO CURB AND GUTTER EXISTS ON EXISTING ROADWAY, THE SIDEWALKS MUST BE FURTHER SETBACK FROM THE EDGE OF PAVEMENT. LOCATION TO BE APPROVED BY DEPARTMENT OF TRANSPORTATION.

UTILITY NOTES:

- 1. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO EXCAVATION OR DEMOLITION. ADDITIONAL UTILITIES MAY NOT BE SHOWN ON THESE PLANS.
2. IF THE CONTRACTOR DAMAGES ANY EXISTING UTILITIES DURING CONSTRUCTION, HE SHALL, AT HIS OWN EXPENSE, REPLACE OR REPAIR THE UTILITIES TO THEIR ORIGINAL CONDITION AND QUALITY, AS APPROVED BY THE ENGINEER AND REPRESENTATIVE OF THE APPROPRIATE UTILITY COMPANY.
3. THE CONTRACTOR SHALL NOTIFY EACH INDIVIDUAL UTILITY OWNER OF HIS PLAN OF OPERATION IN THE AREA OF UTILITIES. PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL CONTACT THE UTILITY OWNERS AND REQUEST THEM TO PROPERLY LOCATE THEIR RESPECTIVE UTILITY ON THE GROUND. THIS NOTIFICATION SHALL BE GIVEN AT LEAST THREE BUSINESS DAYS PRIOR TO COMMENCEMENT OF OPERATIONS BETWEEN 7:00AM AND 7:00PM MONDAY THRU FRIDAY.
4. UNLESS OTHERWISE NOTED, UTILITY OWNERS ARE TO RESET, RELAY, OR READJUST ALL PUBLIC AND PRIVATE UTILITIES CONFLICTING WITH PROPOSED IMPROVEMENT. THE CONTRACTOR WILL BE REQUIRED TO COOPERATE WITH THE OWNERS OF LOCAL UTILITIES IN THE ADJUSTMENT OF THEIR FACILITIES WHERE THEY INTERFERE WITH CONSTRUCTION. THE COSTS FOR THIS WORK WILL BE AT THE CONTRACTOR'S EXPENSE.
5. ALL MATERIALS AND INSTALLATION SHALL BE IN COMPLIANCE WITH LOCAL REQUIREMENTS.
6. CONTRACTOR TO INSTALL BACKFLOW PREVENTER AT ALL WATER METER LOCATIONS.
7. MINIMUM COVER FOR ALL WATER LINES SHALL BE 48 INCHES.
8. SEE ARCHITECTURAL PLANS FOR LOCATION OF WATER, SEWER AND GAS LINES WITHIN PROPOSED BUILDING.
9. A MINIMUM HORIZONTAL SEPARATION OF 10 FEET SHALL BE MAINTAINED BETWEEN WATER LINES AND SANITARY SEWERS. AN 18 INCH MINIMUM VERTICAL SEPARATION SHALL BE MAINTAINED AT CROSSINGS. WHEN CROSSING A WATERLINE OR SEWER LINE, PIPE JOINTS SHALL BE PLACED AS FAR AWAY AS POSSIBLE FROM THE OTHER PIPE.
10. THE SITE PLAN INDICATES POTABLE WATER SERVICE LINES, AND SANITARY SEWER LATERALS. GEORGIA STATE LAW REQUIRES THIS WORK TO BE INSTALLED BY A GEORGIA LICENSED MASTER PLUMBER. THIS WORK REQUIRES A SEPARATE SITE-PLUMBING PERMIT WHICH IS AVAILABLE FROM THE BUILDING PERMITS. ALL WORK SHALL BE INSPECTED BY THE GWINNETT COUNTY PLUMBING INSPECTION UNIT. INSPECTIONS SHALL BE REQUESTED BY PHONING (678) 518-6277.

GRADING / DRAINAGE NOTES:

- 1. THESE DOCUMENTS REPRESENT THE PROPOSED DEVELOPMENT REQUESTED BY THE INDICATED PROPERTY OWNER. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE IDENTIFICATION, LOCATION AND/OR THE CLASSIFICATION OF ANY WATERS OF THE UNITED STATES AND/OR STATE WATERS LOCATED ON THIS SITE. IT IS THE RESPONSIBILITY OF THIS PROPERTY OWNER TO CONTACT THE APPROPRIATE REGULATORY AGENCY(S) FOR APPROVAL OF ANY WORK ASSOCIATED WITH WATERS OF THE UNITED STATES AND/OR STATE WATERS.
2. CONTOUR INTERVAL IS 1 FOOT.
3. ALL BUFFERS ARE TO BE CLEARLY IDENTIFIED WITH FLAGGING AND / OR FENCING PRIOR TO THE COMMENCEMENT OF ANY LAND DISTURBANCE. NO BUFFERS
4. ALL EARTHWORK OPERATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA CONSTRUCTION STANDARDS, PART 1926, SUBPART P, EXCAVATIONS, TRENCHING AND SHORING, SUBPART O, MOTOR VEHICLES, MECHANIZED EQUIPMENT, AND MARINE OPERATIONS, AND BE CONDUCTED IN A MANNER ACCEPTABLE TO ENGINEER.
5. FILL MATERIALS SHALL CONSIST OF CLEAN SOIL, FREE OF ORGANIC OR DELETERIOUS MATERIALS, ROCKS, OR BROKEN PIECES OF CONCRETE LARGER THAN THREE INCHES IN SIZE, OR ANY OTHER FOREIGN OBJECTS THAT COULD IMPEDE THE COMPACTION RESULTS.
6. FILL MATERIALS SHALL BE SPREAD EVENLY IN HORIZONTAL LAYERS IN NOT MORE THAN 8 INCHES IN LOOSE LIFTS OVER THE FULL WIDTH OF FILL AND COMPACTED TO AT LEAST 95% MAXIMUM DRY DENSITY BY STANDARD PROCTOR COMPACTION TEST ASTM D698 UNLESS OTHERWISE NOTED.
7. MAXIMUM CUT OR FILL SLOPES IS 2H:1V; EXCEPT EARTHEN DAM EMBANKMENTS, ROCK CUTS, WHERE CERTIFIED BY A PROFESSIONAL GEOTECHNICAL ENGINEER OR AS DISCUSSED IN 8.1.6 SHALL BE 3H:1V (OR 8.1.5).
8. GRADE HANDICAP RAMP 12:1 SLOPE TO TOP OF CURB.
9. GRADE TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS INTO INLETS.
10. SEE GEOTECHNICAL ENGINEER FOR RECOMMENDATIONS CONCERNING PROPER PLACEMENT AND COMPACTION OF STRUCTURAL FILL.
11. THE TOPS OF ALL MANHOLES AND UTILITY STRUCTURES LOCATED IN PAVED AREAS TO BE ADJUSTED TO FINISHED GRADE.
12. ALL FILL MATERIAL SHALL BE FREE OF ROOTS, ORGANIC MATERIAL AND TRASH AND CONSIST ONLY OF ACCEPTABLE MATERIAL. ALL EMBANKMENTS SHALL BE PLACED IN ACCORDANCE WITH THE LINES AND GRADES INDICATED IN THE PLANS. ALL FILL MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM LABORATORY DRY DENSITY IN ACCORDANCE WITH THE STANDARD PROCTOR COMPACTION TEST (ASTM D-698), UNLESS OTHERWISE NOTED.
13. STREAM BUFFER EASEMENTS ARE TO REMAIN IN A NATURAL AND UNDISTURBED CONDITION. NO BUFFERS
14. STRUCTURES ARE NOT ALLOWED IN DRAINAGE EASEMENTS.

FIRE DEPT. NOTES:

- 1. VAN ACCESS AISLE SHALL BE A MINIMUM OF 8 FEET WIDE. A COMMON ACCESS AISLE MAY BE SHARED BY 2 VEHICLES. THE ACCESS AISLE SHALL BE TO THE RIGHT OF THE VAN PARKING SPACE. SURFACE SLOPES SHALL NOT EXCEED 1:50 (2%) 120-3-20-17(3).
2. AN ADDRESS TO INCLUDE A NUMERICAL AND STREET NAME DESIGNATION IS TO BE PROVIDED: 2132 BRITT STREET.
3. CURB RAMPS SHALL BE PROVIDED PER THE REQUIREMENTS OF RULE 120-3-20-18 GEORGIA ACCESSIBILITY CODE.
4. SURFACES OF CURB RAMPS SHALL COMPLY WITH RULE 120-3-20-16 GEORGIA ACCESSIBILITY CODE.
5. GROUND AND FLOOR SURFACES ALONG ACCESSIBLE ROUTES AND WALKS, RAMPS, STAIRS, AND CURB RAMPS SHALL BE STABLE, FIRM, SLIP RESISTANT, AND COMPLY WITH RULE 120-3-20-19 GEORGIA ACCESSIBILITY CODE.
6. CURB RAMPS AT MARKED CROSSINGS SHALL BE WHOLLY WITHIN THE MARKINGS, EXCLUDING FLARED SIDES. SIGNAGE SHALL BE LOCATED SO IT CAN NOT BE OBSTRUCTED BY A VEHICLE, RULE 120-3-20-18(9) GEORGIA ACCESSIBILITY CODE.
7. CURB RAMPS SHALL BE LOCATED OR PROTECTED TO PREVENT THEIR OBSTRUCTION BY PARKED VEHICLES, RULE 120-3-20-18(8) GEORGIA ACCESSIBILITY CODE.
8. OBJECTS PROJECTING FROM WALL (FOR EXAMPLE, TELEPHONES) WITH THEIR LEADING EDGES BETWEEN 27 INCHES AND 80 INCHES ABOVE THE FINISHED FLOOR SHALL PROTRUDE NO MORE THAN 4 INCHES TO WALKS, HALLS, CORRIDORS, PASSAGEWAYS, OR AISLES. FREE STANDING OBJECTS MOUNTED ON POSTS OR PYLONS MAY OVERHAND 12 INCHES MAXIMUM FROM 27 INCHES TO 80 INCHES ABOVE THE GROUND OR FINISHED FLOOR. PROTRUDING OBJECTS SHALL NOT REDUCE THE CLEAR WIDTH OF AN ACCESSIBLE ROUTE OR MANUEVERING SPACE, RULE 120-3-20-15, GEORGIA ACCESSIBILITY CODE.
9. SIDES OF CURB RAMPS SHALL BE PROVIDED PER THE REQUIREMENT OF RULE 120-3-20-18(15), GEORGIA ACCESSIBILITY CODE.
10. SIGNAGE SHALL BE PROVIDED PER THE ATTACHED DETAIL. "VAN ACCESSIBLE" SHALL BE REQUIRED IMMEDIATELY BELOW THE STANDARD SIGN FOR VAN ACCESSIBLE SPACES. SIGNS FOR AUTOMOBILE ACCESSIBLE SPACES SHALL BE MINIMUM OF 60 INCHES TO THE BOTTOM OF THE SIGN ABOVE FINISHED GRADE. SIGNAGE FOR VAN ACCESSIBLE SPACES SHALL BE A MINIMUM OF 84 INCHES FROM THE BOTTOM OF THE SIGN FROM FINISHED GRADE, RULE 120-3-20-17(4), GEORGIA ACCESSIBILITY CODE.
11. ALL ACCESSIBLE ROUTES WITH RUNNING SLOPES GREATER THAN 1:20 IS A RAMP AND SHALL COMPLY WITH RULE 120-3-20-19. CROSS SLOPE SHALL NOT EXCEED 1:50, RULE 120-3-20-14(7), GEORGIA ACCESSIBILITY CODE.
12. ALL CURB RAMPS SHALL HAVE A DETECTABLE WARNING COMPLYING WITH RULE 120-3-20-40. THE DETECTABLE WARNING SHALL EXTEND THE FULL WIDTH AND DEPTH OF THE CURB RAMP INCLUDING FLARES, RULE 120-3-20-18(7), GEORGIA ACCESSIBILITY CODE.
13. THE MINIMUM CLEAR WIDTH OF AN ACCESSIBLE ROUTE SHALL BE 36 INCHES EXCEPT AT DOORS. IF A PERSON IN A WHEELCHAIR MUST MAKE A TURN AROUND DUE TO AN OBSTRUCTION, THE MINIMUM CLEAR WIDTH OF THE ACCESSIBLE ROUTE SHALL COMPLY WITH RULE 120-3-20-14(3), FIG. (7) A AND B, GEORGIA ACCESSIBILITY CODE.
14. WATER MAIN LOCATION AND SIZES ARE TO BE SHOWN ON PLAN.
15. ENTRANCES TO THE BUILDING IN NEW CONSTRUCTION SHALL BE PROVIDED PER THE REQUIREMENTS OF RULE 120-3-20-08, (8) (A THRU D). ACCESSIBLE ENTRANCES MUST BE PROVIDED IN A NUMBER AT LEAST EQUIVALENT TO THE NUMBER OF EXITS REQUIRED BY THE APPLICABLE BUILDING/FIRE CODES. (THIS PARAGRAPH DOES NOT REQUIRE AN INCREASE IN THE TOTAL NUMBER OF ENTRANCES PLANNED FOR A FACILITY). GEORGIA ACCESSIBILITY CODE.
16. MARKING AND SIGNAGE OF FIRE LANES SHALL BE PROVIDED PER THE REQUIREMENTS OF INTERNATIONAL FIRE CODE 2000 EDITION SECTION 503.3 AND GWINNETT COUNTY FIRE MARSHAL'S GENERAL ORDER ISSUED NOVEMBER 1, 1996 (SEE ATTACHED DETAILS).
17. DURING CONSTRUCTION AND FOR PERMANENT ACCESS, ROADWAYS CONSTRUCTED OF AN ALL WEATHER SURFACE CAPABLE OF SUPPORTING 75,000 POUNDS GROSS WEIGHT SHALL BE PROVIDED PER INTERNATIONAL FIRE CODE, 2000 EDITION SECTION 503.3.
18. CURB RAMPS SHALL BE LOCATED OR PROTECTED TO PREVENT THEIR OBSTRUCTION BY PARKED VEHICLES. RULE 120-3-20-18(8), GEORGIA ACCESSIBILITY CODE
19. FIRE LANES SHALL BE AT LEAST 20 FT IN WIDTH WITH THE ROAD EDGE CLOSEST TO THE STRUCTURE A MINIMUM OF 10 FT FROM THE STRUCTURE. GWINNETT COUNTY GENERAL ORDER ISSUED NOVEMBER 1, 1996.
20. DURING CONSTRUCTION AND FOR PERMANENT ACCESS, ROADWAYS WIDTH SHALL BE 20 FT MINIMUM PER INTERNATIONAL FIRE CODE, 2000 EDITION SECTION
21. FIREWALL REQUIRED AT A MAXIMUM OF EVERY 12,000 SF.
22. PLANS FOR RETAIL SELF-SERVICE GASOLINE OPERATIONS SHALL BE REVIEWED AND PERMITTED BY THE GEORGIA STATE FIRE MARSHAL'S OFFICE HAZARDOUS MATERIAL SECTION AND A COPY OF THE APPROVALS SHALL BE PROVIDED BEFORE FINAL CERTIFICATE OF OCCUPANCY IS ISSUED.

STORMWATER NOTES:

- 1. THERE IS NO FLOODPLAIN ON THIS PROPERTY FROM A WATER COURSE WITH A DRAINAGE AREA EXCEEDING 100 ACRES OR FLOODPLAIN PER FIRM PANEL 13135C00119F, DATED SEPT. 29, 2006.
2. THERE ARE NO WETLANDS BEING DISTURBED ON THIS SITE.
3. STORMWATER MANAGEMENT TO BE PROVIDED ON-SITE (NOT REQUIRED).
4. THERE ARE NO STREAM BUFFERS ON THIS PROPERTY.
5. WETLAND CERTIFICATION: THE DESIGN PROFESSIONAL, WHOSE SEAL APPEARS HEREON, CERTIFIES THE FOLLOWING: 1) THE NATIONAL WETLAND INVENTORY MAPS HAVE BEEN CONSULTED; AND, 2) THE APPROPRIATE PLAN SHEET [ ] DOES / [X] DOES NOT (CIRCLE APPROPRIATE BOX) INDICATE AREAS OF UNITED STATES ARMY CORPS OF ENGINEERS JURISDICTIONAL WETLANDS AS SHOWN ON THE MAPS; AND, 3) IF WETLANDS ARE INDICATED, THE LAND OWNER OR DEVELOPER HAS BEEN ADVISED THAT LAND DISTURBANCE OF PROTECTED WETLANDS SHALL NOT OCCUR UNLESS THE APPROPRIATE FEDERAL WETLANDS ALTERATION ("SECTION 404") PERMIT HAS BEEN OBTAINED.
6. COMMERCIAL - CITY OF GRAYSON ASSUMES NO RESPONSIBILITY FOR OVERFLOW OR EROSION OF NATURAL OR ARTIFICIAL DRAINS BEYOND THE EXTENT OF THE STREET RIGHT-OF-WAY, OR FOR THE EXTENSION OF CULVERTS BEYOND THE POINT SHOWN ON THE APPROVED AND RECORDED PLAN. CITY OF GRAYSON DOES NOT ASSUME THE RESPONSIBILITY FOR THE MAINTENANCE OF PIPES IN DRAINAGE EASEMENTS BEYOND THE COUNTY RIGHT-OF-WAY.
7. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNERS OF THE STORMWATER MANAGEMENT FACILITY TO KEEP THE ACCESS DRIVE FREE OF OBSTRUCTIONS AND TO MAINTAIN THE FACILITY FREE OF OBSTRUCTIONS, SILT AND DEBRIS, AND OPERATIONAL PURSUANT TO COUNTY REQUIREMENTS.
8. SOURCE OF TOPOGRAPHY IS SURVEY BY ROBBINS LAND SURVEYING, DATED MAY 19, 2021. DATUM: GWINNETT CO. GCS
9. MAXIMUM SLOPE FOR CUT OR FILL IS 2H:1V EXCEPT EARTHEN DAM EMBANKMENTS SHALL BE 3H:1V.
10. DETENTION POND, DETENTION OUTLET STRUCTURES AND TEMPORARY SEDIMENT POND FEATURES ARE TO BE CONSTRUCTED AND FULLY OPERATIONAL PRIOR TO ANY OTHER CONSTRUCTION OR GRADING.
11. DEVELOPER IS TO CLEAN OUT ACCUMULATED SILT IN DETENTION POND AT END OF CONSTRUCTION WHEN DISTURBED AREAS HAVE BEEN STABILIZED.
12. PROVIDE DETENTION POND POST-CONSTRUCTION (RECORD) DRAWINGS WITH THE SUBMITTAL OF THE FINAL PLAT AT LEAST TWO WEEKS PRIOR TO REQUESTING A CERTIFICATE OF OCCUPANCY SO THAT THE POST-CONSTRUCTION CONDITIONS MAY BE VERIFIED AND APPROVED. CERTIFIED RECORD DRAWINGS SHALL INCLUDE TOPOGRAPHY OF POND AND OUTLET STRUCTURE DETAIL USING POST-CONSTRUCTION SURVEY DATA. USING RECORD DRAWINGS, PROVIDE A CERTIFIED HYDROLOGY REPORT VERIFYING POND VOLUMES AND PEAK OUTFLOWS FROM REGULATED STORM EVENTS.
13. ACCESS EASEMENT TO BE CLEARED AND GRUBBED.
14. HDPE PIPE SHALL CONFORM TO THE REQUIREMENTS OF AASHTO M-294 AND AASHTO MP7, TYPE S & D. CONNECTIONS SHALL USE A RUBBER GASKET, WHICH CONFORMS TO ASTM F-477. INSTALLATION SHALL BE IN ACCORDANCE WITH ASTM RECOMMENDED PRACTICE D-2321, AASHTO SECTION 30, OR WITH SECTION 550 OF THE GEORGIA DOT STANDARD SPECIFICATIONS, CONSTRUCTION OF ROADS AND BRIDGES.
15. ALL RCP PIPE JOINTS SHALL BE BELL & SPIGOT TYPES WITH A RUBBER GASKET CONFORMING TO ASTM C-443. THE PIPE SHALL BE MANUFACTURED IN ACCORDANCE WITH AASHTO M-170 AND/OR ASTM C-76. CLASS OF PIPE AND WALL THICKNESS SHALL BE IN ACCORDANCE WITH 1030-D, GEORGIA DOT SPECIFICATION, TABLE NO. 1. INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 550 OF THE GEORGIA DOT STANDARD SPECIFICATIONS, CONSTRUCTION OF ROADS AND BRIDGES.
16. THE RECEIVING WATER(S) IS: UN-NAMED TRIBUTARY OF BRUSHY FORK

EROSION CONTROL NOTES:

- 1. SILT BARRIERS TO BE PLACED AS SHOWN AND/OR AS DIRECTED BY THE CITY OF GRAYSON INSPECTOR.
2. ALL SILT BARRIERS MUST BE IN PLACE AS ACCESS IS OBTAINED DURING CLEARING. NO GRADING SHALL BE DONE UNTIL SILT BARRIER INSTALLATION IS COMPLETED.
3. THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES AROUND THE WORK AND SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE AND EROSION.
4. EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL BE MAINTAINED AT ALL TIMES. ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.
5. ALL DISTURBED AREAS TO BE GRASSED AS SOON AS CONSTRUCTION PHASES PERMIT.
6. ALL DESIGNS WILL CONFORM TO AND ALL WORK WILL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE PUBLICATION ENTITLED "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" (LATEST EDITION, 2016).
7. THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.
8. SEDIMENT STORAGE MAINTENANCE INDICATORS MUST BE INSTALLED IN SEDIMENT STORAGE STRUCTURES, INDICATING THE 1/3 FULL VOLUME.
9. MAINTENANCE OF ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL BE AT ALL TIMES THE RESPONSIBILITY OF THE PROPERTY OWNER.
10. DEVELOPER TO CLEAN OUT ACCUMULATED SILT IN DETENTION POND AT END OF CONSTRUCTION WHEN DISTURBED AREAS HAVE BEEN STABILIZED.
11. PROVIDE DETENTION POND POST-CONSTRUCTION (RECORD) DRAWINGS WITH THE SUBMITTAL OF THE FINAL PLAT AT LEAST TWO WEEKS PRIOR TO REQUESTING A CERTIFICATE OF OCCUPANCY SO THAT THE POST-CONSTRUCTION CONDITIONS MAY BE VERIFIED AND APPROVED. CERTIFIED RECORD DRAWINGS SHALL INCLUDE TOPOGRAPHY OF POND AND OUTLET STRUCTURE DETAIL USING POST-CONSTRUCTION SURVEY DATA. USING RECORD DRAWINGS, PROVIDE A CERTIFIED HYDROLOGY REPORT VERIFYING POND VOLUMES AND PEAK OUTFLOWS FROM REGULATED STORM EVENTS.
12. THE SOIL EROSION AND SEDIMENT CONTROL ORDINANCE REQUIRES THAT A 25 FOOT BUFFER ADJACENT TO ALL STATE WATERS BE MAINTAINED (ARTICLE 4, SECTION 4.3, PARAGRAPH 15). EXCEPTION IS GRANTED TO HOMEOWNERS WHO PERFORM MINOR LAND DISTURBING ACTIVITIES SUCH AS HOME LANDSCAPING, HOME GARDENS, REPAIRS AND MAINTENANCE WORK (ARTICLE 3, SECTION 3.1, PARAGRAPH 3).
13. WETLAND CERTIFICATION: THE DESIGN PROFESSIONAL, WHOSE SEAL APPEARS HEREON, CERTIFIES THE FOLLOWING: 1) THE NATIONAL WETLAND INVENTORY MAPS HAVE BEEN CONSULTED, 2) THE APPROPRIATE PLAN SHEET [ ] DOES / [X] DOES NOT (CIRCLE APPROPRIATE BOX) INDICATE AREAS OF UNITED STATES ARMY CORPS OF ENGINEERS JURISDICTIONAL WETLANDS AS SHOWN ON THE MAPS, AND 3) IF WETLANDS ARE INDICATED, THE LAND OWNER OR DEVELOPER HAS BEEN ADVISED THAT LAND DISTURBANCE OF PROTECTED WETLANDS SHALL NOT OCCUR UNLESS THE APPROPRIATE FEDERAL WETLANDS ALTERATION ("SECTION 404") PERMIT HAS BEEN OBTAINED.
14. GWINNETT COUNTY ASSUMES NO RESPONSIBILITY FOR OVER-FLOW OR EROSION OF NATURAL OR ARTIFICIAL DRAINS BEYOND THE EXTENT OF THE STREET RIGHT-OF-WAY, OR FOR THE EXTENSION OF CULVERTS BEYOND THE POINT SHOWN ON THE APPROVED AND RECORDED PLAN. GWINNETT COUNTY DOES NOT ASSUME THE RESPONSIBILITY FOR THE MAINTENANCE OF PIPES IN DRAINAGE EASEMENTS BEYOND THE COUNTY RIGHT-OF-WAY.
15. APPROVAL OF THESE PLANS DOES NOT CONSTITUTE APPROVAL BY GWINNETT COUNTY OF ANY LAND DISTURBING ACTIVITIES WITHIN WETLAND AREAS. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO CONTACT THE APPROPRIATE REGULATORY AGENCY FOR APPROVAL OF ANY WETLAND AREA DISTURBANCE.
16. PROTECTIVE TREE FENCING, STAKING OR CONTINUOUS RIBBON SHALL BE INSTALLED BETWEEN TREE PROTECTION AREAS AND AREAS PROPOSED TO BE GRADED OR OTHERWISE DISTURBED ON THE SITE, PRIOR TO ANY LAND DISTURBANCE. LAND DISTURBANCE TO BE LIMITED TO THOSE AREAS NEEDED FOR STREETS, PARKING, DRAINAGE, AND UTILITIES.
17. THE EXTENT AND LOCATION OF EROSION CONTROL MEASURES SHOWN (SHEET) ARE THE ESTIMATED REQUIRED. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DUE TO ACTUAL FIELD CONDITIONS, AND WILL BE INSTALLED AT THE OWNER/DEVELOPERS EXPENSE WHEN DIRECTED BY THE PROPER GOVERNING AUTHORITY.

E.C. PROJECT NARRATIVE:

BRITT STREET SPUR
2132 BRITT STREET
PARCEL ID: 5135A065
CITY OF GRAYSON, GEORGIA
THE EXISTING SITE HAS BUILDINGS, ROADS, AND PARKING. THE TOTAL AREA OF THE SITE IS 4.13 AC. ACRES WITH APPROXIMATELY 0.40 ACRES OF DISTURBANCE ON-SITE.
THE ZONING OF THE SUBJECT IS PUD. THE ADJACENT PROPERTIES ARE ALSO ZONED PUD.
THE EXISTING SITE TOPOGRAPHY VARIES WITH A GRADIENT OF 2-5 PERCENT THROUGHOUT THE PROPERTY. THERE ARE NO STATE WATERS ON-SITE. THERE ARE NO WETLANDS ON-SITE.
WE HAVE DESIGNED VARIOUS EROSION CONTROL MEASURES AT EACH OF THE LOCATIONS WHERE STORMWATER RUN-OFF HAS BEEN DIRECTED OR NATURALLY LEAVES THE PROPERTY. SILT FENCE BARRIERS ARE TO BE INSTALLED AT THE TOE OF ALL FILL SLOPES ON THE DOWNSTREAM SIDE AROUND THE PERIMETER OF THE PLANNED LAND DISTURBANCE. DISTURBED AREAS OF THE SITE ARE TO BE STABILIZED AND GRASSED AS SOON AS CONSTRUCTION PHASES PERMIT.
THE SITE WORK CONSTRUCTION IS TO BE COMPLETED IN STRICT ACCORDANCE WITH THE "MANUAL FOR EROSION AND SEDIMENTATION CONTROL IN GEORGIA". PERMANENT STABILIZATION WILL BE ACCOMPLISHED BY PLANTING COMMON BERMUDA. PERMANENT STABILIZATION IS TO BE ACHIEVED IN ACCORDANCE WITH CHAPTER 6, SECTION III "VEGETATIVE PRACTICES" OF THE MANUAL FOR EROSION AND SEDIMENTATION CONTROL IN GEORGIA. EROSION CONTROL DEVICES WILL BE ROUTINELY INSPECTED AND MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
ALL EROSION CONTROL DEVICES SHALL BE CLEANED OUT BEFORE ACHIEVING A LEVEL OF 1/3 FULL.

LEVEL II CERTIFIED DESIGN PROFESSIONAL



GEORGIA SOIL AND WATER CONSERVATION COMMISSION
ROBERT A. CONE, R.L.A.
CERTIFICATION NUMBER: 0000039604
EXPIRES: 05/21/2026

PREPARED BY



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24-HR CONTACT:
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lange.john@comcast.net

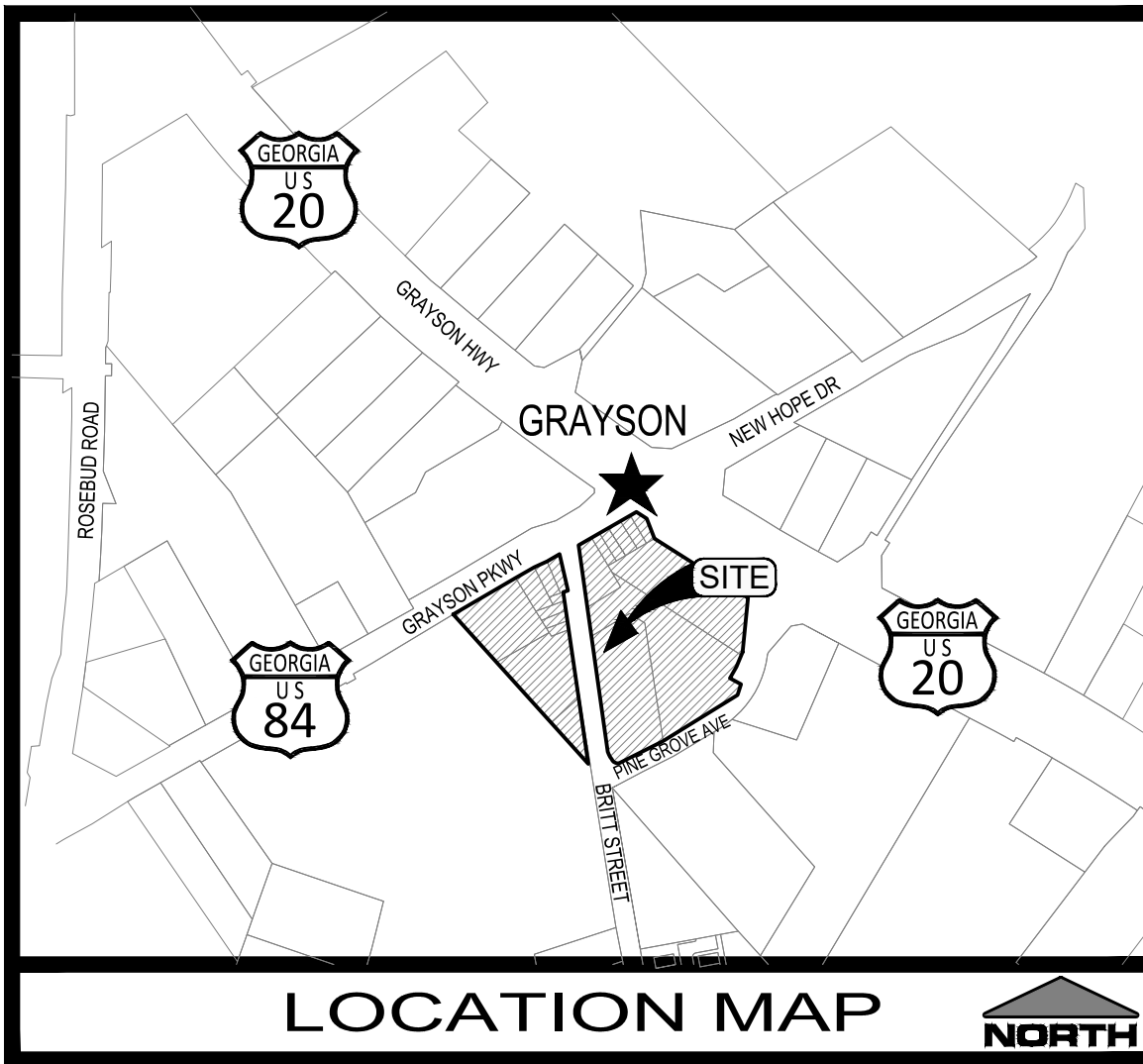
BRITT STREET SPUR
LAND LOT 135 - 5th DISTRICT
PARCEL ID: 5135A065
CITY OF GRAYSON (GWINNETT CO.), GEORGIA
CONSTRUCTION NOTES
SHEET TITLE:

SIGNED / SEALED



Table with columns for DATE, REVISION, and NO.

DESIGNED BY: RAC SCALE: AS SHOWN
DRAWN BY: JAM
CHECKED BY: RAC SHEET
24-006 2-Apr-24



**THERE IS NO PROPOSED WATER/SEWER w/ THIS SET OF CONSTRUCTION DOCUMENTS**

**SITE DESIGN SHALL COMPLY WITH CURRENT GWINNETT CO. REGULATIONS & ORDINANCES**

**UTILITY NOTE :**  
 APPROXIMATE LOCATIONS OF UNDERGROUND UTILITIES, AS SHOWN BY THIS SURVEY, ARE BASED UPON FIELD OBSERVATION ONLY. ROBBINS LAND SURVEYING, INC. IS UNABLE TO CERTIFY TO THE ACCURACY OR COMPLETENESS OF THIS INFORMATION. ALL UNDERGROUND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION BY THE UTILITY PROTECTION CENTER AT 811.

UNDERGROUND UTILITIES SERVING OR CROSSING THE PREMISES MAY EXIST THAT ARE NOT SHOWN. ROBBINS LAND SURVEYING, INC. MAY NOT HAVE FULL KNOWLEDGE OF ALL UNDERGROUND UTILITIES.

ABOVE GROUND UTILITY LOCATIONS WERE OBTAINED FROM FIELD OBSERVATIONS. ABANDONED UNDERGROUND UTILITY LINES, IF ANY, ARE NOT SHOWN.

**LEGEND :**

P.O.B.	POINT OF BEGINNING	DIP	DUCTILE IRON PIPE	F.H.	FIRE HYDRANT
L.L.	LAND LOT	PVC	POLYVINYLCHLORIDE PIPE	I.C.V.	IRRIGATION CONTROL VALVE
R/W	RIGHT OF WAY	C.B.	CATCH BASIN	-W-	WATER LINE
N/F	NOW OR FORMERLY	C.I.	CURB INLET	WM	WATER METER
D.B.	DEED BOOK	D.W.	DROP INLET	WV	WATER VALVE
C.T.F.	CRIMPED TOP FOUND	J.B.	JUNCTION BOX	SH	SPRINKLER HEAD
R.B.F.	REBAR FOUND	W.I.	WIRED INLET	HB	HOSE BIB
O.T.F.	OPEN TOP FOUND	J.E.S.	FLARED END SECTION	VM	VALVE MARKER
A.X.F.	AXLE FOUND	H.W.	HEAD WALL	HCP	HANDICAPPED PARKING
A.I.F.	ANGLE IRON FOUND	W.L.	WIRED INLET	SI	SIGN POST
R.R.F.	RAILROAD SPIKE FOUND	S.M.H.	SANITARY MANHOLE	SC	SIAMENSE CONNECTION
H.T.F.	HUB & TACK FOUND	C/O	CLEAN OUT	G.M.	GAS METER
N.F.	NAIL FOUND	S.O.	STUB OUT	G.V.	GAS VALVE
S.K.F.	SCRIBED "X" FOUND	INV.	INVERT	-G-	GAS LINE
M.N.F.	MONUMENT FOUND	E.O.	ELECTRIC OUTLET	-T-	TELEPHONE LINE
R.B.S.	REBAR SET	E.M.H.	ELECTRIC MANHOLE	TM	TELEPHONE MARKER
S.X.S.	SCRIBED "X" SET	+P	OVERHEAD POWER LINE	B.L.	BUILDING LINE
M.N.S.	MONUMENT SET	-C-	CABLE LINE	C.L.	CENTERLINE
H.T.S.	HUB & TACK SET	U.P.	UTILITY POLE	E.P.	EDGE OF PAVEMENT
N.S.	NAIL SET	U.G.P.	UNDERGROUND POWER LINE	M.W.	MONITORING WELL
M.M.	MILE MARKER	G.W.	GUY WIRE	E.P.	EDGE OF PAVEMENT
B.M.	BENCHMARK	E.M.	ELECTRIC METER	M.W.	MONITORING WELL
C.M.P.	CORRUGATED METAL PIPE	P/P	POWER POLE		
R.C.P.	REINFORCED CONCRETE PIPE	T.R.	TRANSFORMER		
		L/P	LIGHT POLE		

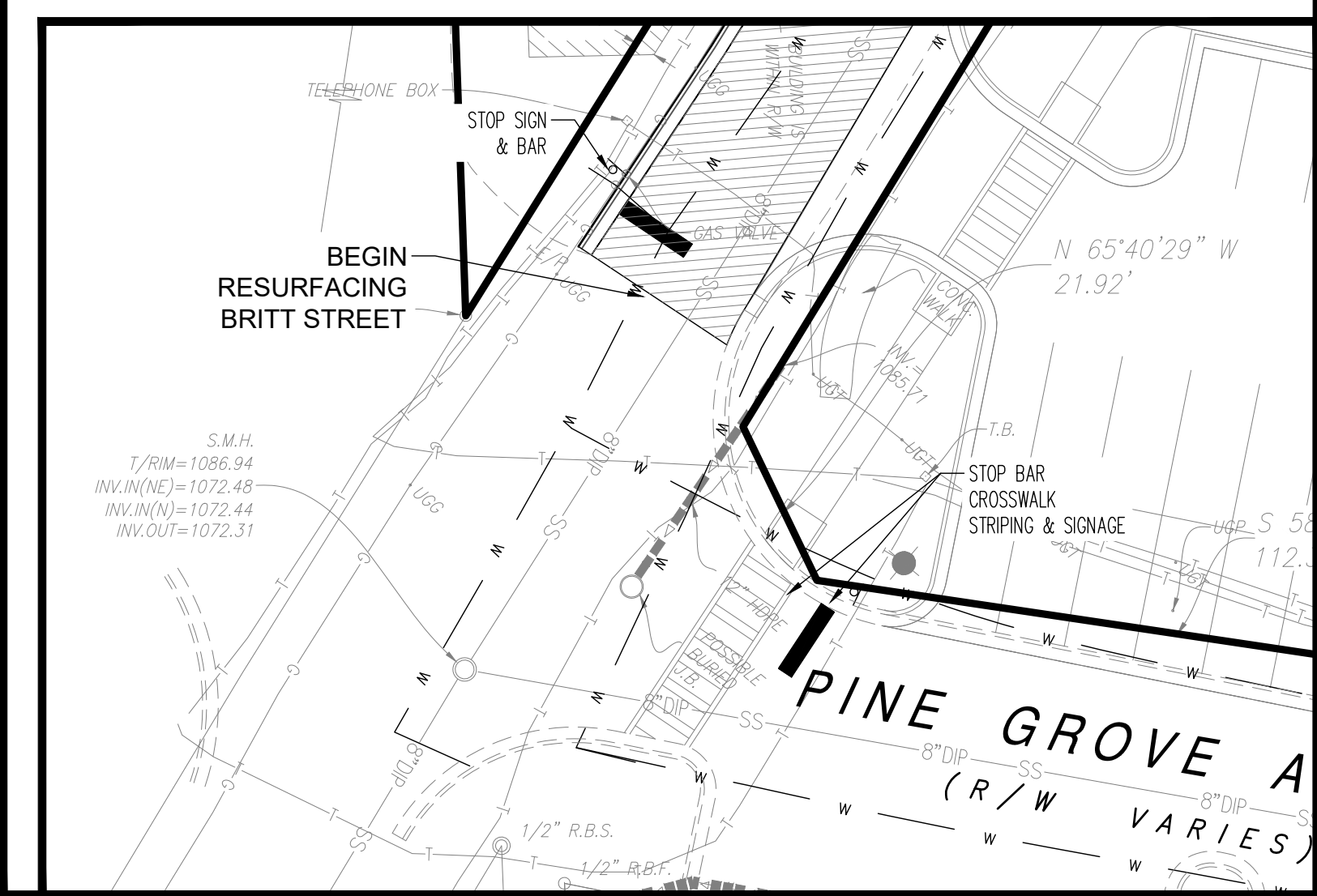
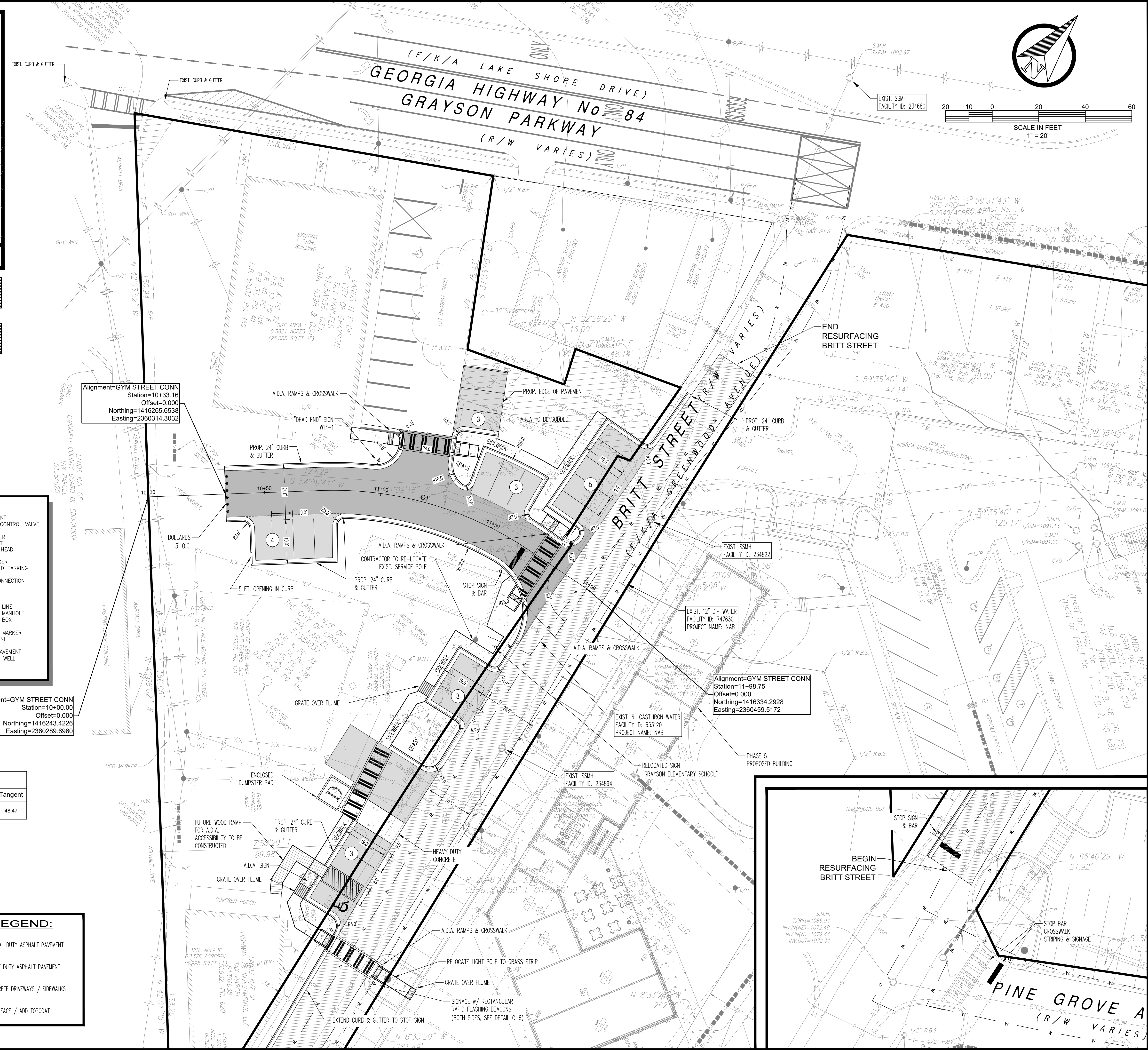
**ROAD CL CURVE TABLE**

Curve #	Start Point	PI Point	End Point	Delta	Radius	Arc	Chord	Tangent
C1	N=1416293.12 E=2360344.71	N=1416325.62 E=2360380.67	N=1416330.9186 E=2360428.86	035°48'58"	150.00	93.77	92.25	48.47

Alignment=GYM STREET CONN  
 Station=10+33.16  
 Offset=0.000  
 Northing=1416265.6538  
 Easting=2360314.3032

Alignment=GYM STREET CONN  
 Station=10+40.00  
 Offset=0.000  
 Northing=1416243.4226  
 Easting=2360289.6960

Alignment=GYM STREET CONN  
 Station=11+98.75  
 Offset=0.000  
 Northing=1416334.2928  
 Easting=2360459.5172



72 HRS NOTICE IS REQUIRED TO GEORGIA 811 UTILITY PROTECTION CENTER BEFORE ANY PLANNED DIGGING.

**SITE LEGEND:**

[Pattern]	NORMAL DUTY ASPHALT PAVEMENT
[Pattern]	HEAVY DUTY ASPHALT PAVEMENT
[Pattern]	CONCRETE DRIVEWAYS / SIDEWALKS
[Pattern]	RESURFACE / ADD TOPCOAT

LEVEL II CERTIFIED DESIGN PROFESSIONAL  
**GSWCC**  
 GEORGIA SOIL AND WATER CONSERVATION COMMISSION  
 ROBERT A. CONE, R.L.A.  
 CERTIFICATION NUMBER: 0000039604  
 EXPIRES: 05/21/2026

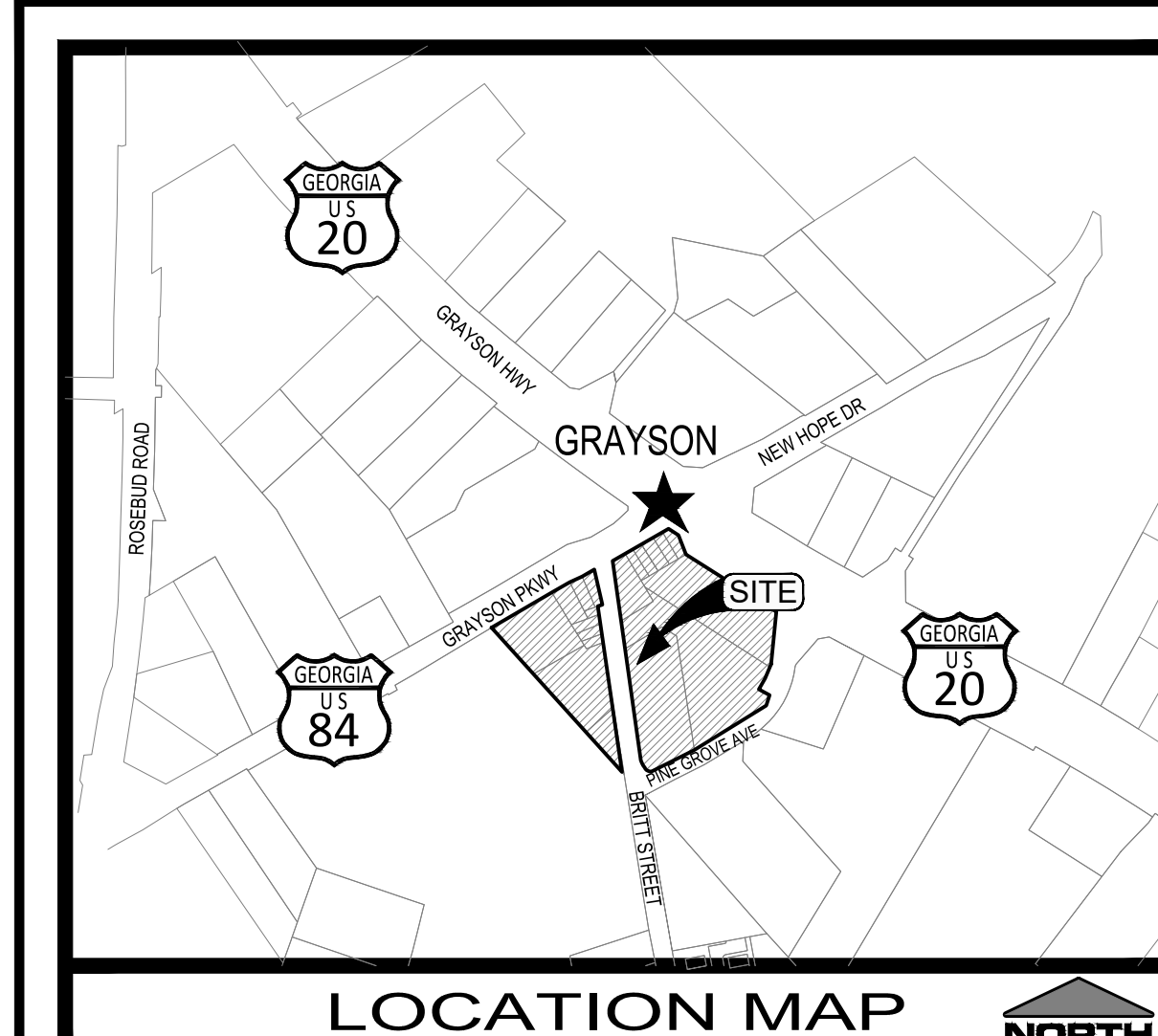
PREPARED BY  
**Land Solution Associates, Inc.**  
 P.O. Box 187  
 Tiger, GA 30576  
 (o) 678.725.4631  
 (e) landsolutionsassociates@gmail.com  
 CONTACT: ROBERT "BO" CONE

OWNER/DEVELOPER:  
**GRAY RAIL, LLC**  
 3343 BEECH HOLLOW COURT  
 LOGANVILLE, GA 30052  
 24-HR CONTACT:  
 JOHN LANGE 404-731-7811  
 lange.john@comcast.net

**BRITT STREET SPUR**  
 LAND LOT 135 - 5th DISTRICT  
 PARCEL ID: 5135A065  
 CITY OF GRAYSON (GWINNETT CO.), GEORGIA  
 SHEET TITLE: SITE & UTILITY PLAN

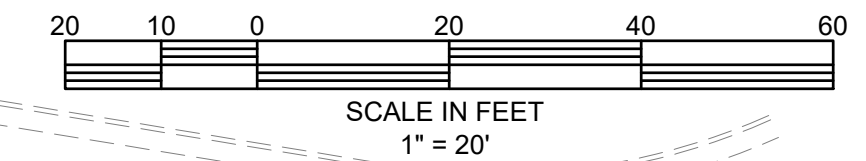
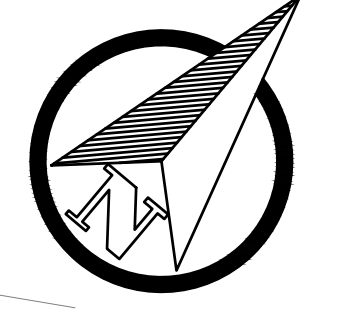
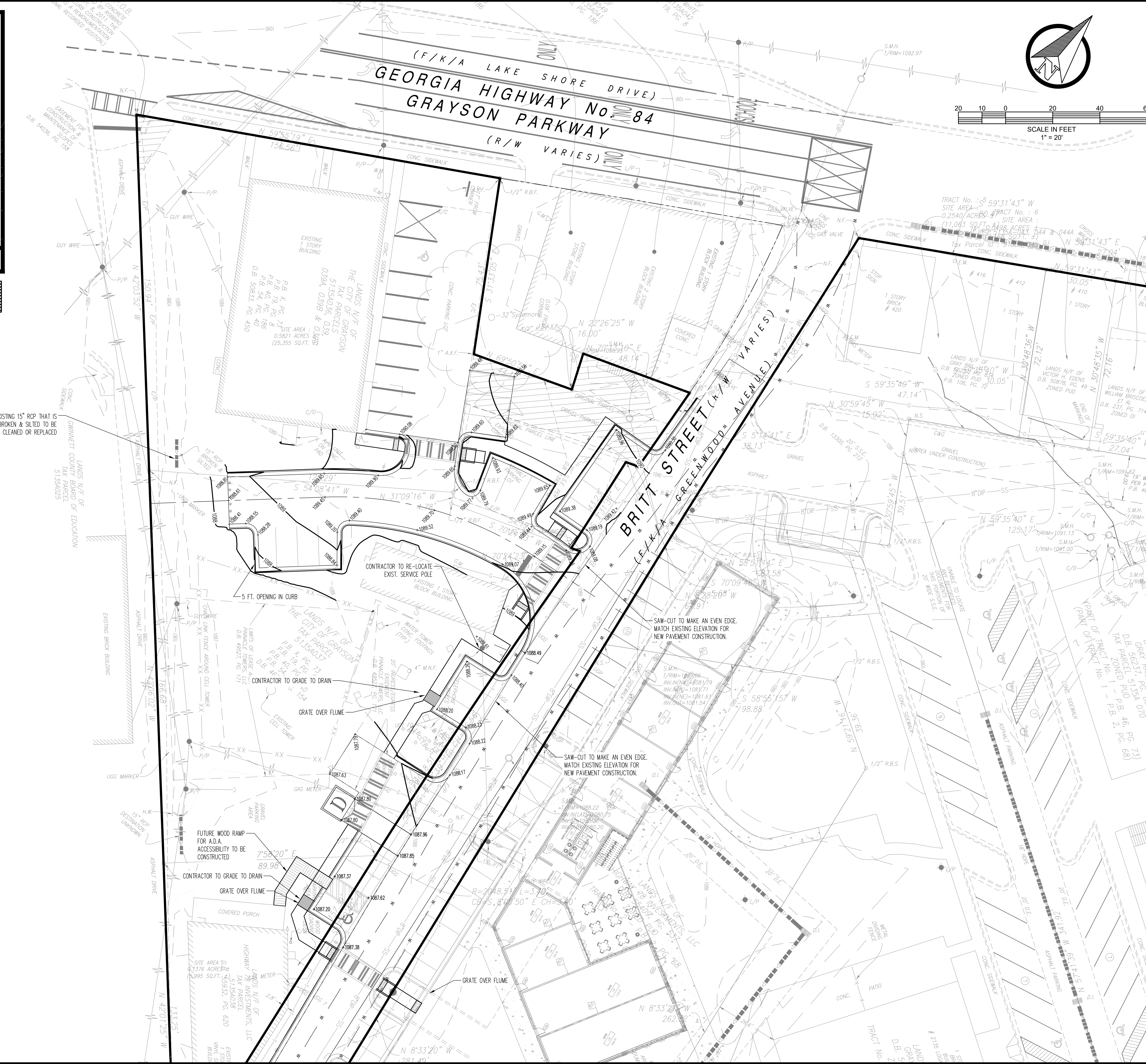
SIGNED / SEALED  
  
 ROBERT A. CONE

DATE:	
REVISION:	
DESIGNED BY: RAC	SCALE: AS SHOWN
DRAWN BY: JAM	<b>C-4</b>
CHECKED BY: RAC	SHEET
<b>24-006</b>	<b>2-Apr-24</b>



**LOCATION MAP**

ALL DISTURBED GRASS AREAS TO BE TREATED w/ BERMUDA SOD.

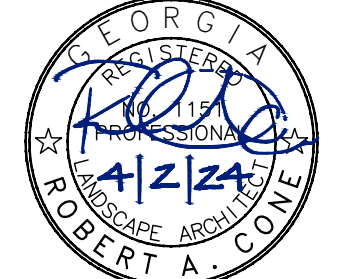


LEVEL II CERTIFIED DESIGN PROFESSIONAL  
**GSWCC**  
 GEORGIA SOIL AND WATER CONSERVATION COMMISSION  
 ROBERT A. CONE, R.L.A.  
 CERTIFICATION NUMBER: 0000039604  
 EXPIRES: 05/21/2026

PREPARED BY  
**Land Solution Associates, Inc**  
 P.O. Box 187  
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 (o) 678.725.4631  
 (e) landofsolutions.com@gmail.com  
 CONTACT: ROBERT BOYD CONE

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 LOGANVILLE, GA 30052  
 24-HR CONTACT:  
 JOHN LANGE 404-731-7811  
 lange.john@comcast.net

**BRITT STREET SPUR**  
 LAND LOT 135 - 5th DISTRICT  
 PARCEL ID: 5135A065  
 CITY OF GRAYSON (GWINNETT CO.), GEORGIA  
 SHEET TITLE: GRADING & DRAINAGE PLAN

SIGNED / SEALED  
  
 ROBERT A. CONE

NO.	REVISION	DATE	
		BY	DATE

DESIGNED BY: RAC  
 DRAWN BY: JAM  
 CHECKED BY: RAC  
 SCALE: AS SHOWN  
**C-5**  
 SHEET  
**24-006**  
**2-Apr-24**



72 HRS NOTICE IS REQUIRED TO GEORGIA 811 UTILITY PROTECTION CENTER BEFORE ANY PLANNED DIGGING.

OFFICE OF SAFETY  
Proven Safety Countermeasures

**Rectangular Rapid Flashing Beacons (RRFB)**

RRFBs can increase safety for pedestrians crossing the road, but at times may not be sufficient for drivers to identify crossing locations and yield to pedestrians. To enhance pedestrian conspicuity and increase driver awareness at uncontrolled, at-grade crossings, the use of Rectangular Rapid Flashing Beacons (RRFB) is recommended. RRFBs consist of two, rectangular-shaped light sources, each with a light-emitting diode (LED)-array-based light source. RRFBs can be activated to enhance conspicuity of pedestrians at the crossing to drivers. RRFBs are defined in the Manual on Uniform Traffic Control Devices (MUTCD) for information on the application of RRFBs.<sup>1</sup>

- Applications**  
The RRFB is applicable to many types of pedestrian crossings but is most effective at uncontrolled, at-grade crossings with speed limits less than 40 miles per hour. Research suggests RRFBs can result in motorist yielding rates up to 98% at marked crossings, but varies depending on the location, posted speed limit, pedestrian crossing and the number of travel lanes.<sup>2</sup> RRFBs can also accompany school or trail crossing warning signs.
- Agencies should:**  
• Install RRFBs in the median rather than the far-side of the roadway to reduce the risk of a vehicle or other type of median crossing.  
• Use solar power panels to eliminate the need for a power source.  
• Reserve the use of RRFBs for locations with significant pedestrian activity, such as over-use of RRFB locations, or locations where there is a high volume of pedestrian activity.  
**Agencies shall not:**  
• Use RRFBs without the presence of a pedestrian, school or trail crossing warning sign.  
• Use RRFBs for crosswalks across the roadway.  
• Use RRFBs for stop signs, traffic control signals, or pedestrian hybrid beacons, except for the approach or egress from a turnabout.



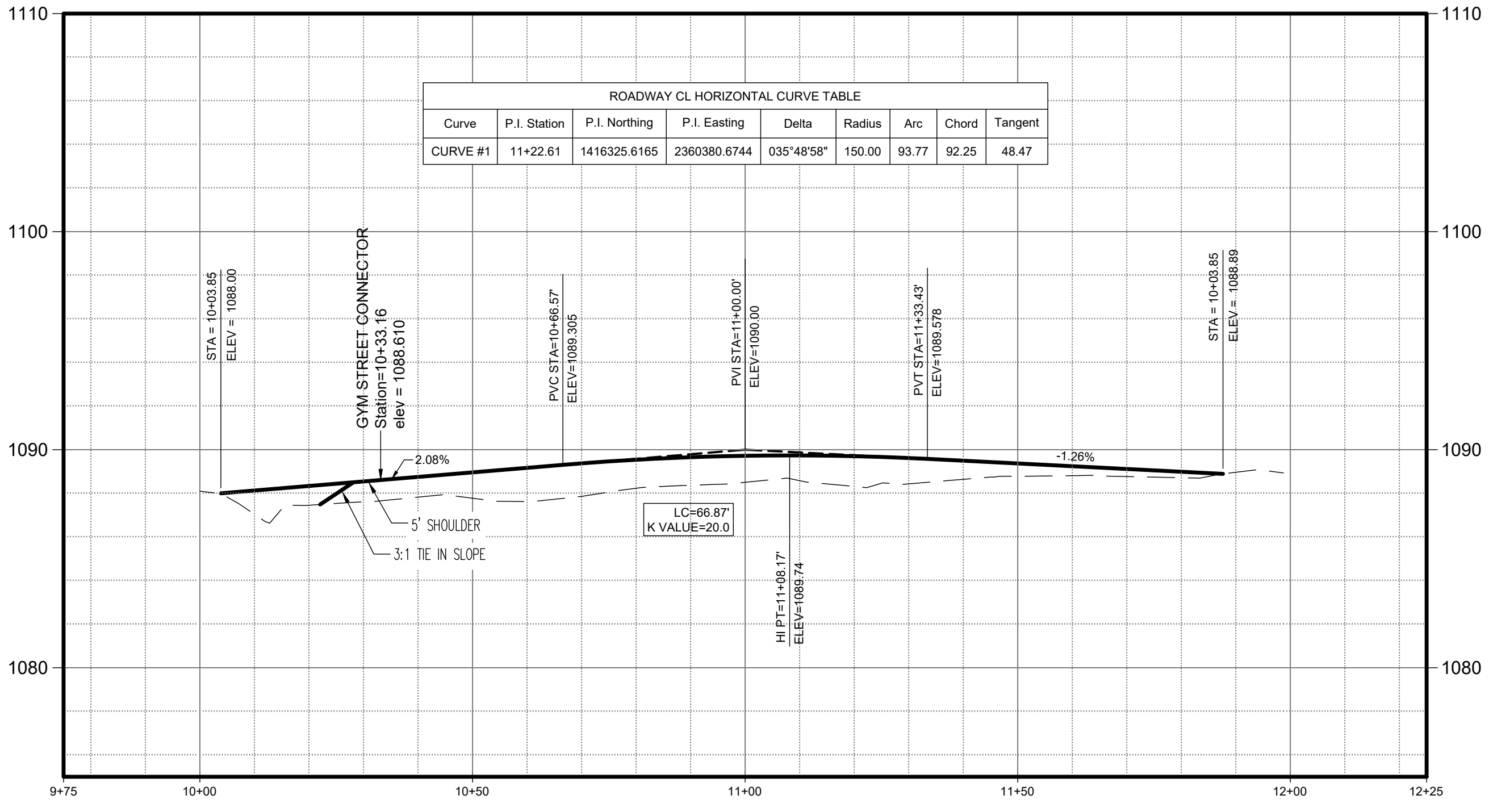
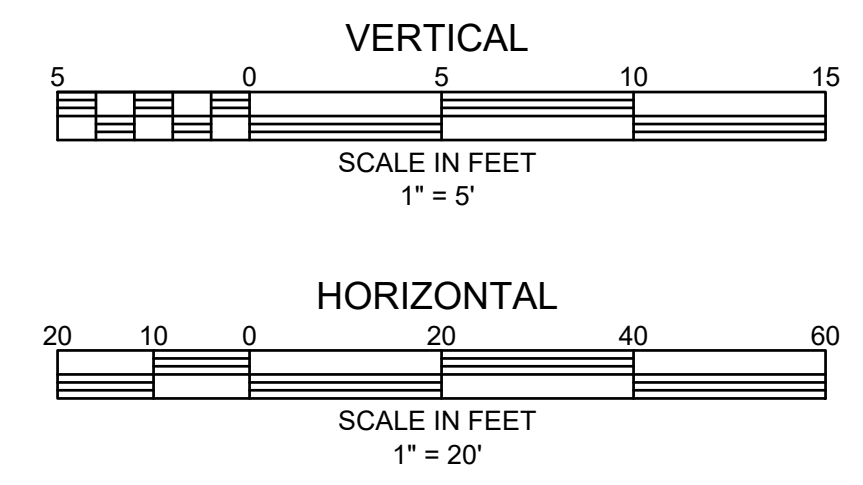
**Safety Benefits:**  
RRFBs can reduce crashes up to **47%** for pedestrian crashes.<sup>4</sup>  
RRFBs can increase motorist yielding rates up to **98%** (varies by speed limit, number of lanes, crossing distance, and time of day).<sup>3</sup>

For more information on this and other FHWA Proven Safety Countermeasures, visit <https://highways.dot.gov/safety/proven-safety-countermeasures> and <https://highways.dot.gov/safety/proven-safety-countermeasures>.  
RRFB 2018.pdf  
FHWA-SA-21-053

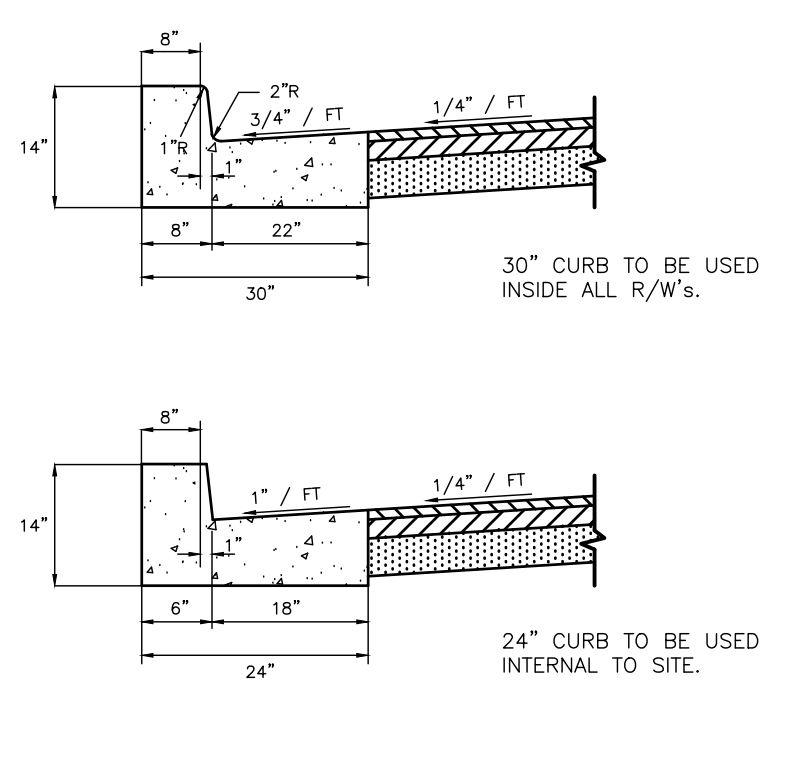


1. Manual on Uniform Traffic Control Devices (MUTCD), Chapter 4E, Part 14, (2003).  
2. FHWA's Proven Safety Countermeasures, FHWA, (2020).  
3. FHWA's Proven Safety Countermeasures, FHWA, (2020).  
4. FHWA's Proven Safety Countermeasures, FHWA, (2020).  
Copyright © 2020, NCHRP Research Report 681, Development of Crash Modification Factors for Pedestrian Crossings, Report No. TR-550-001, Texas A&M University, College Station, Texas, USA.  
FHWA-SA-21-053

PROFILE SCALES:

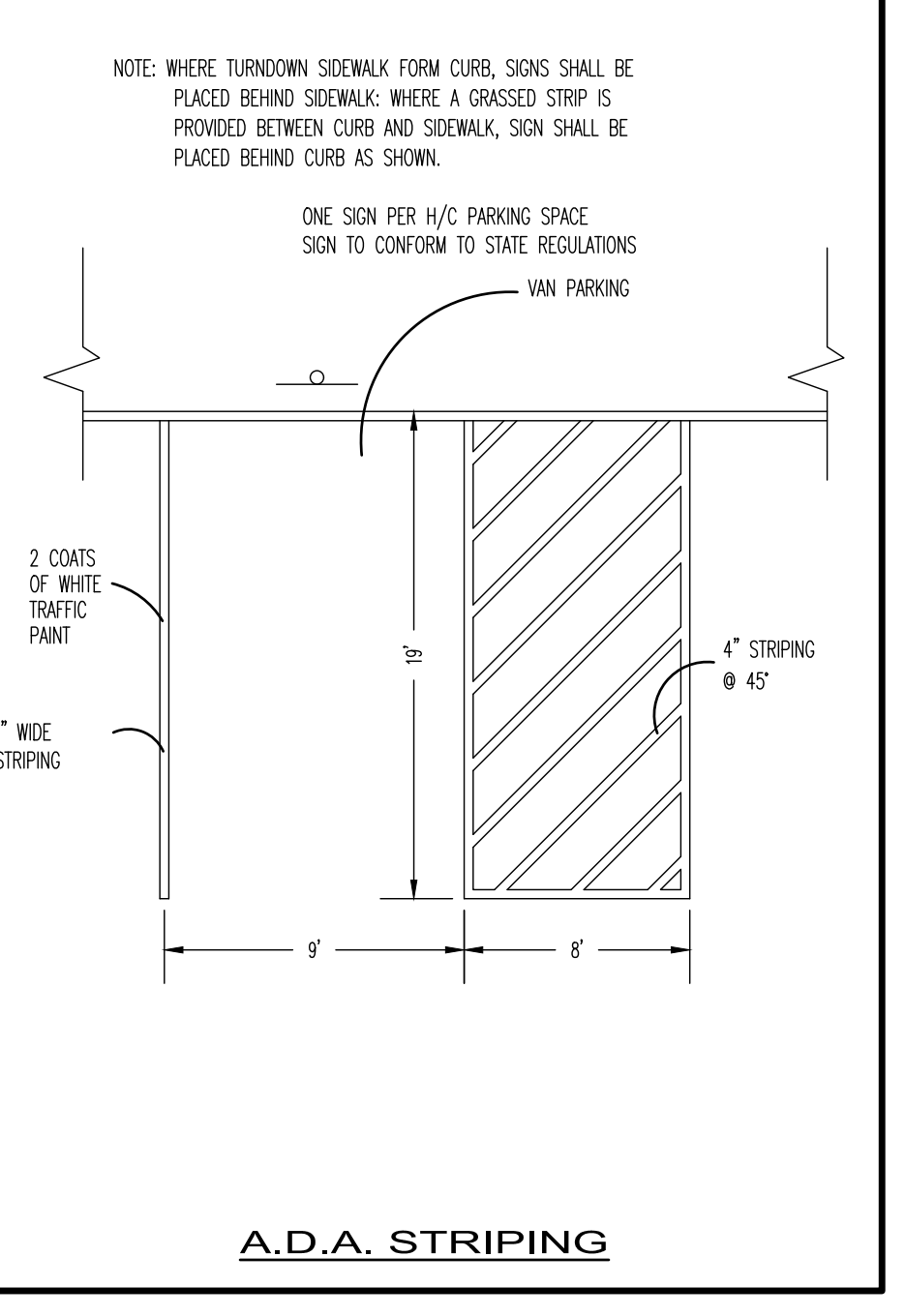
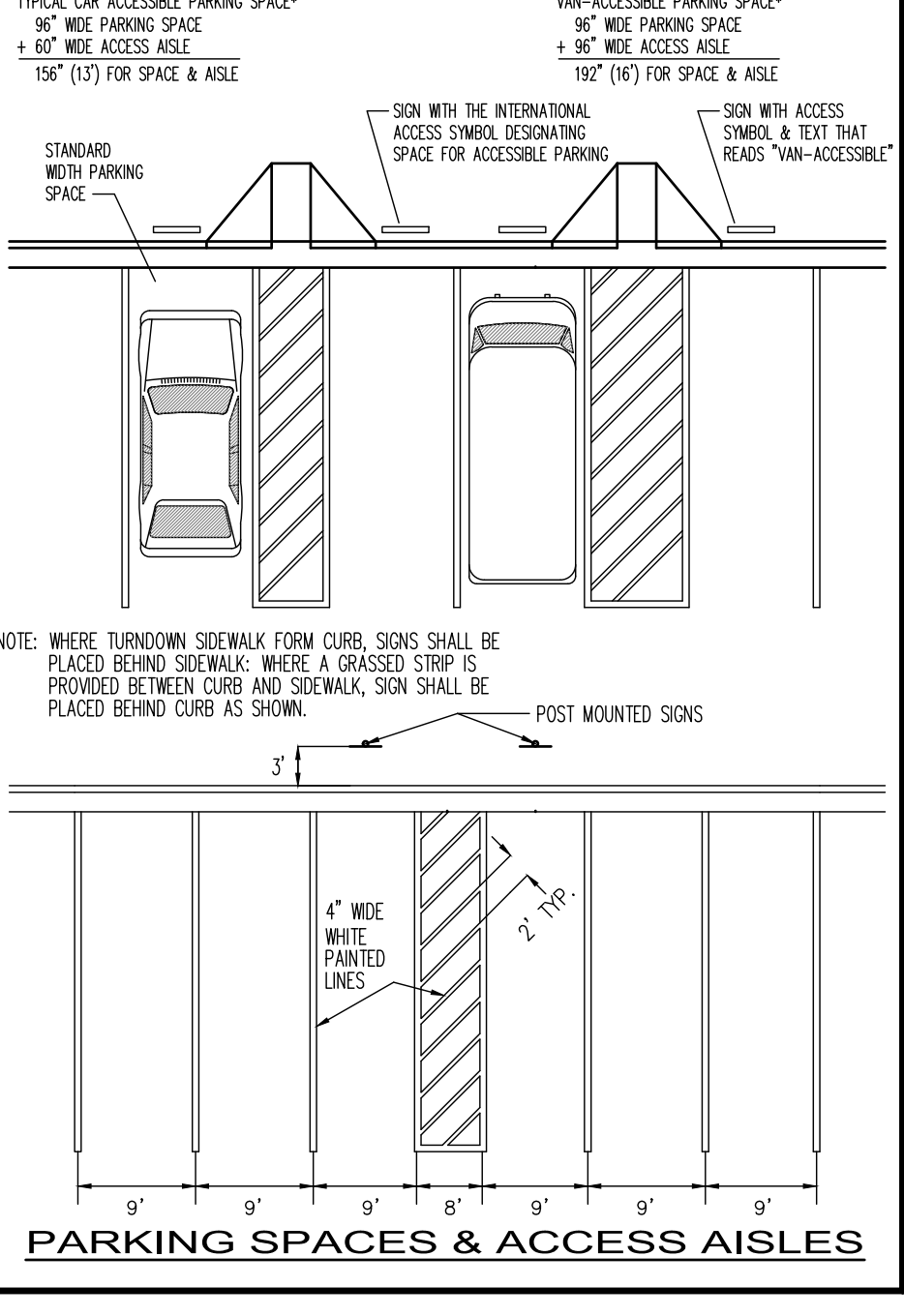
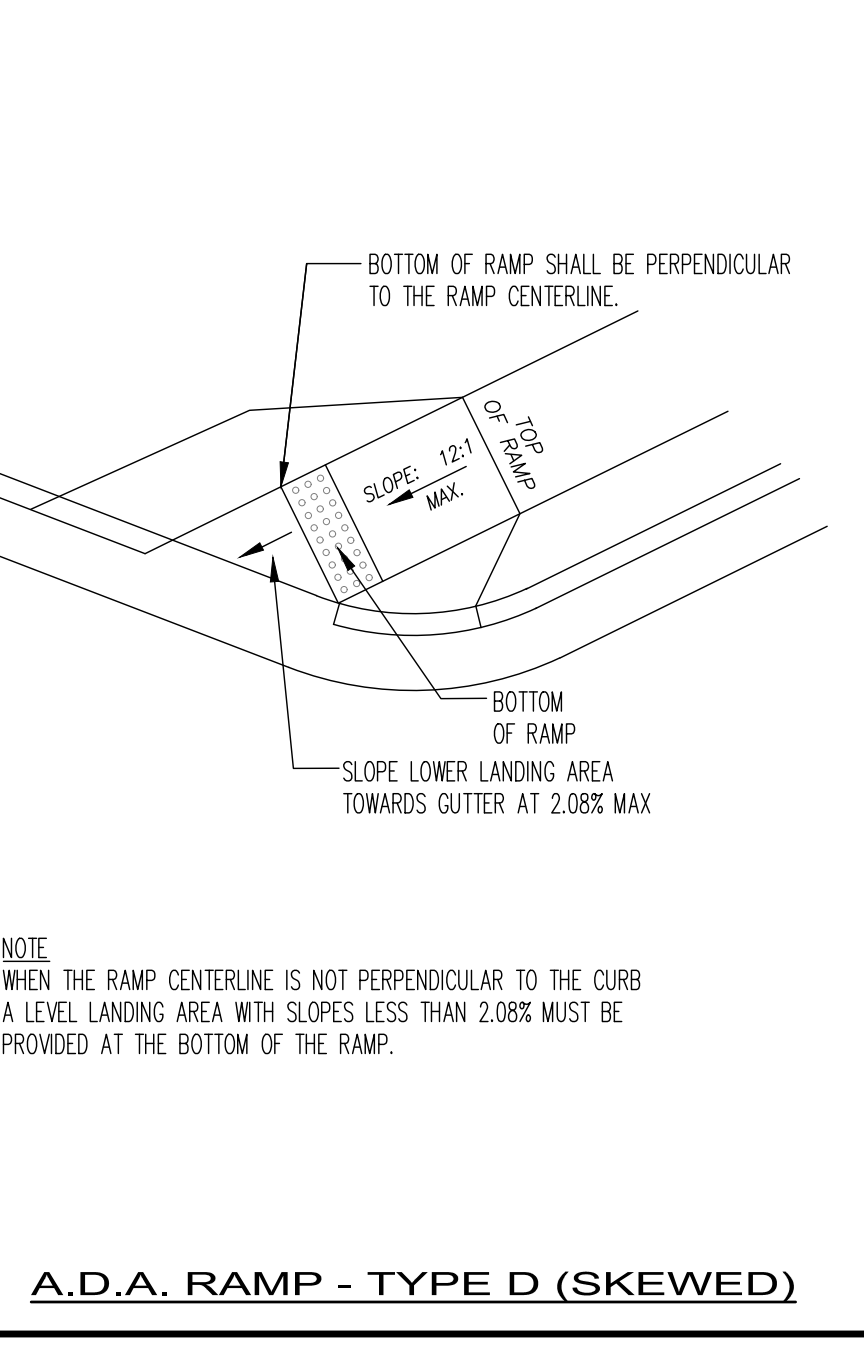
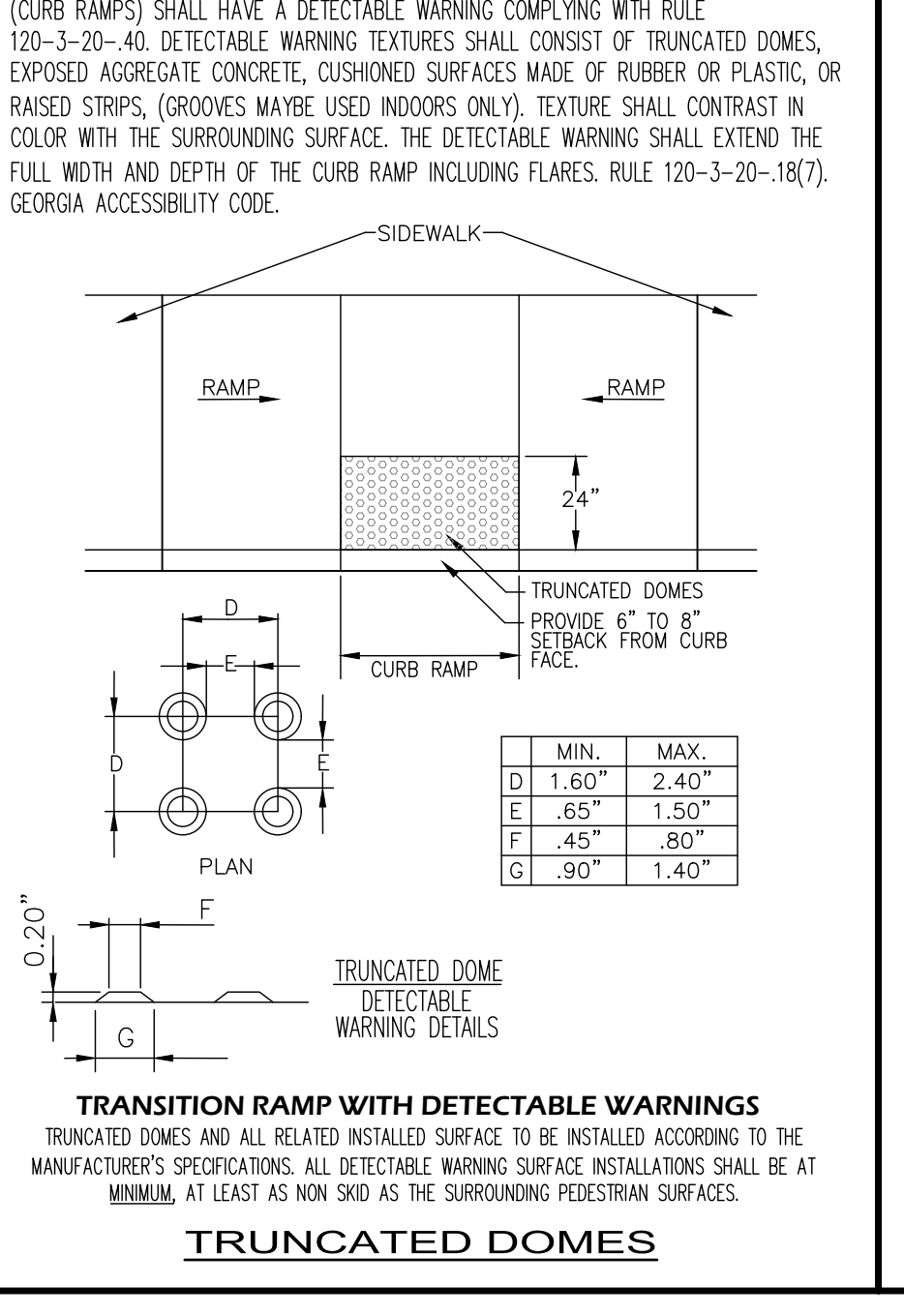
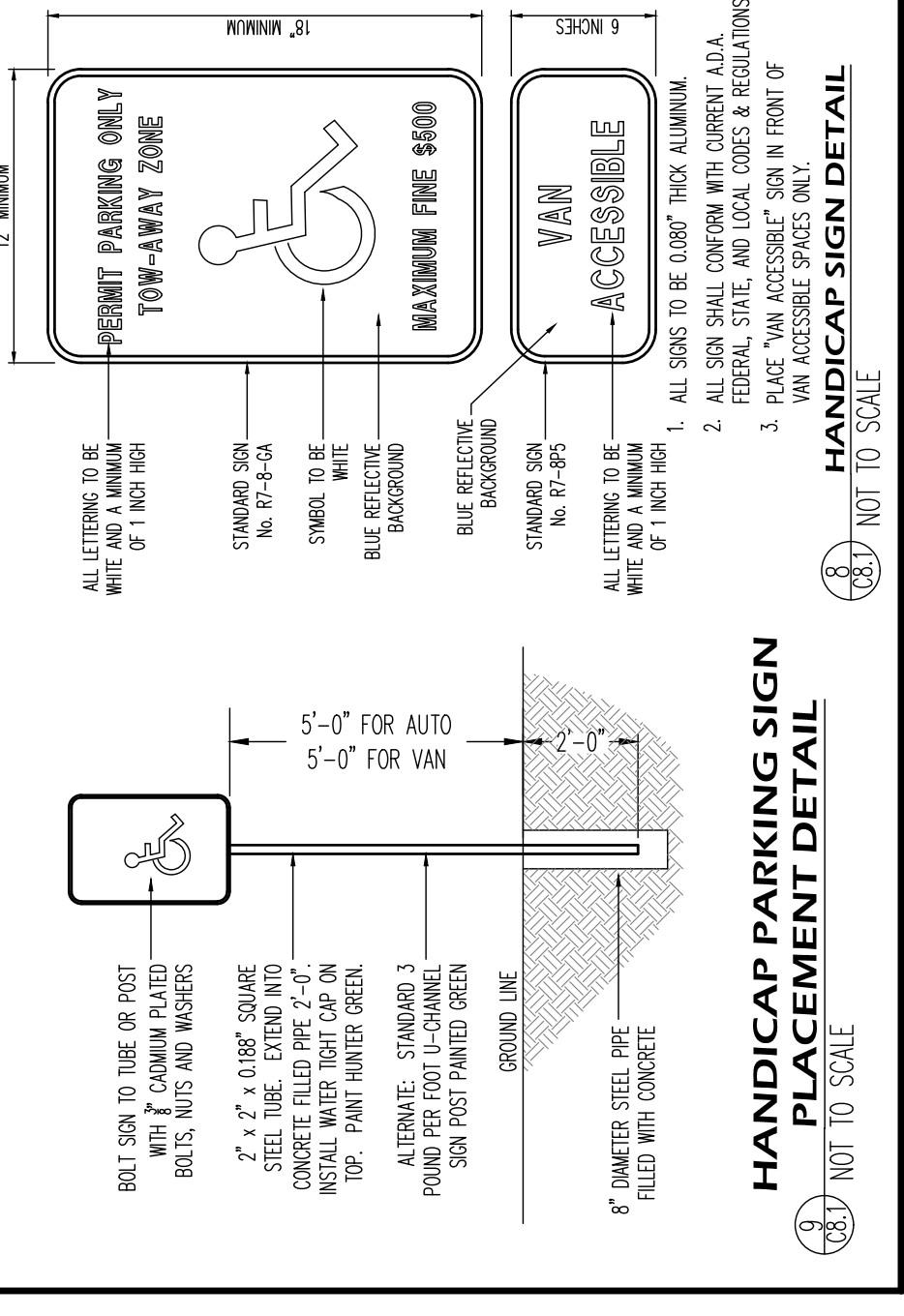
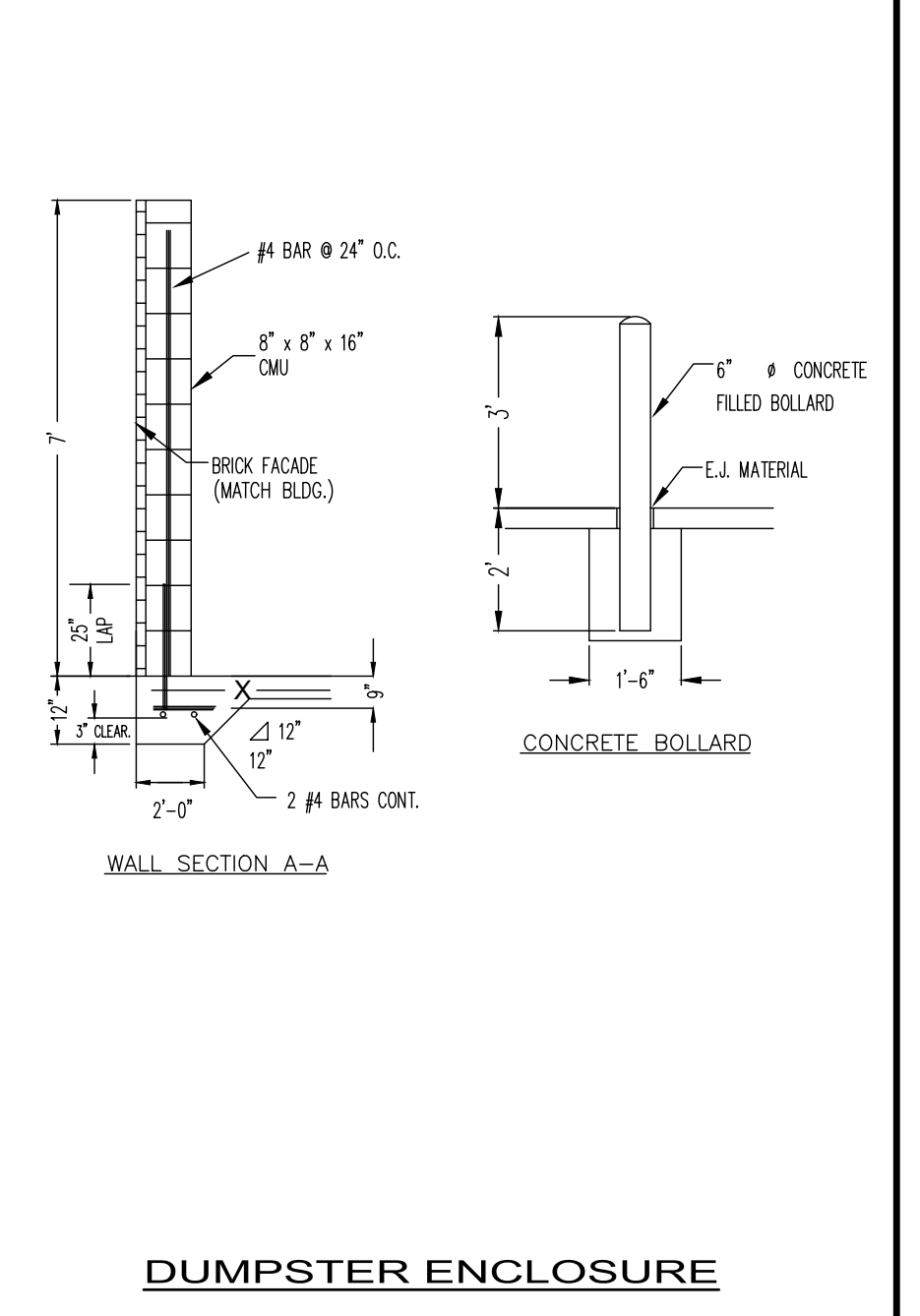
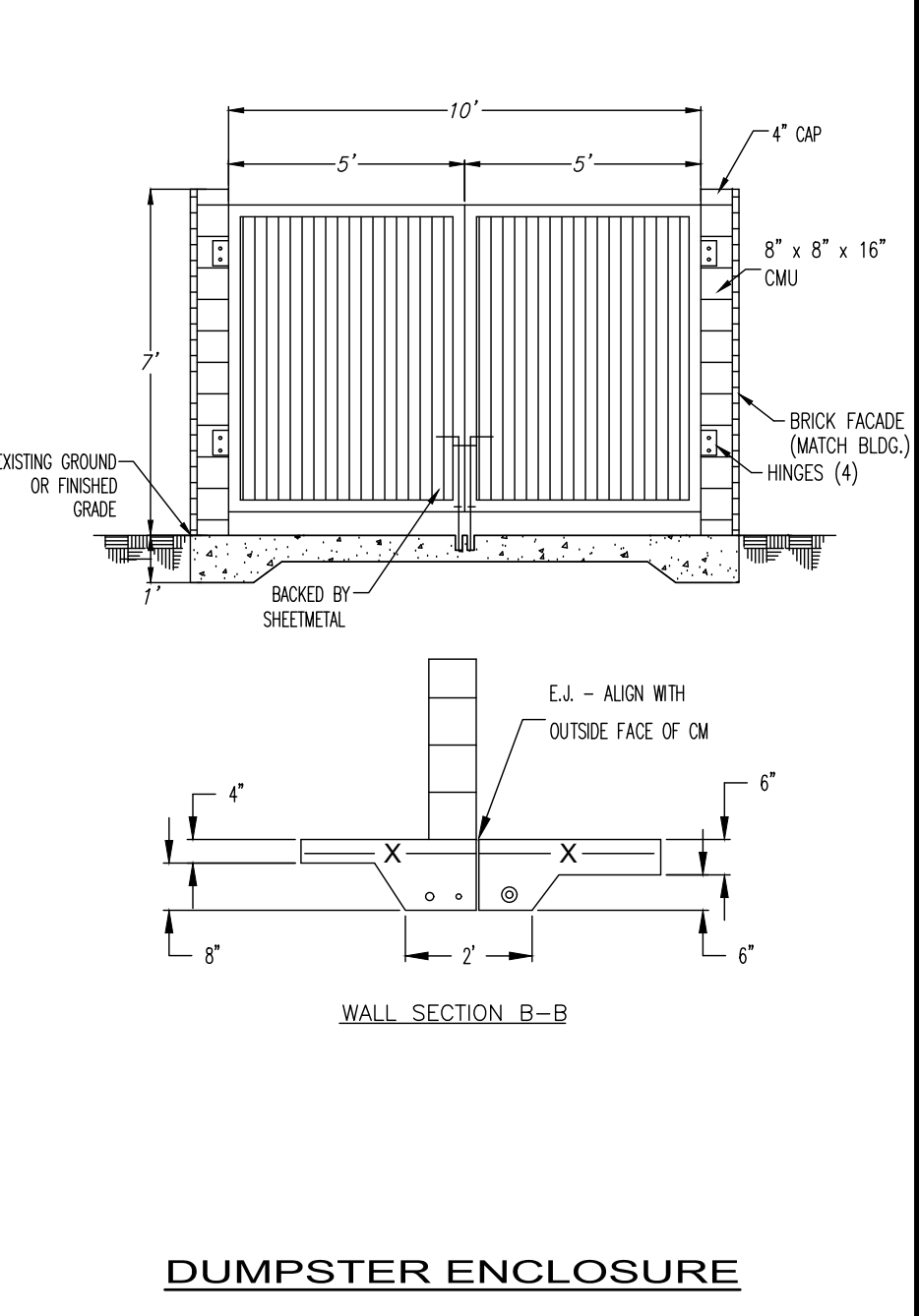
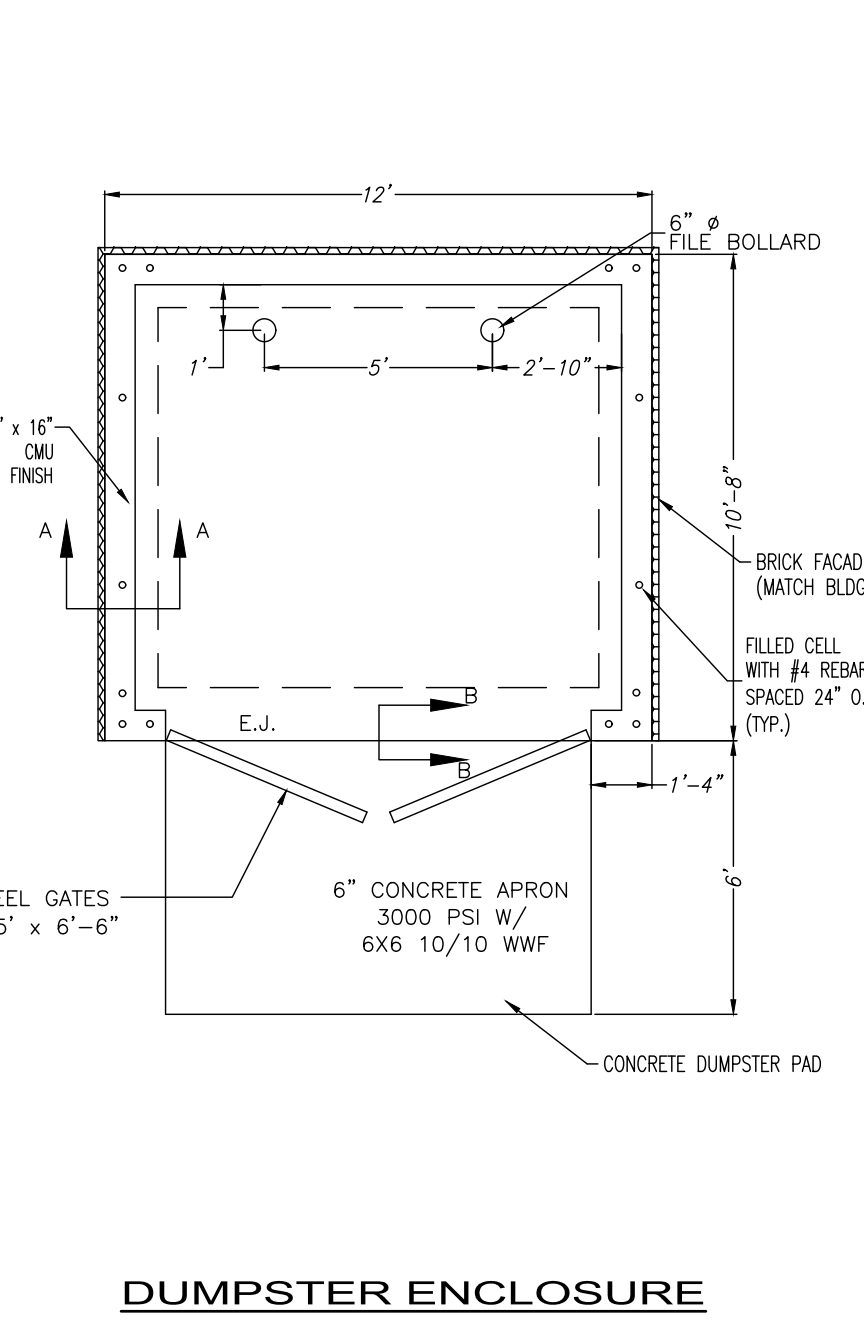
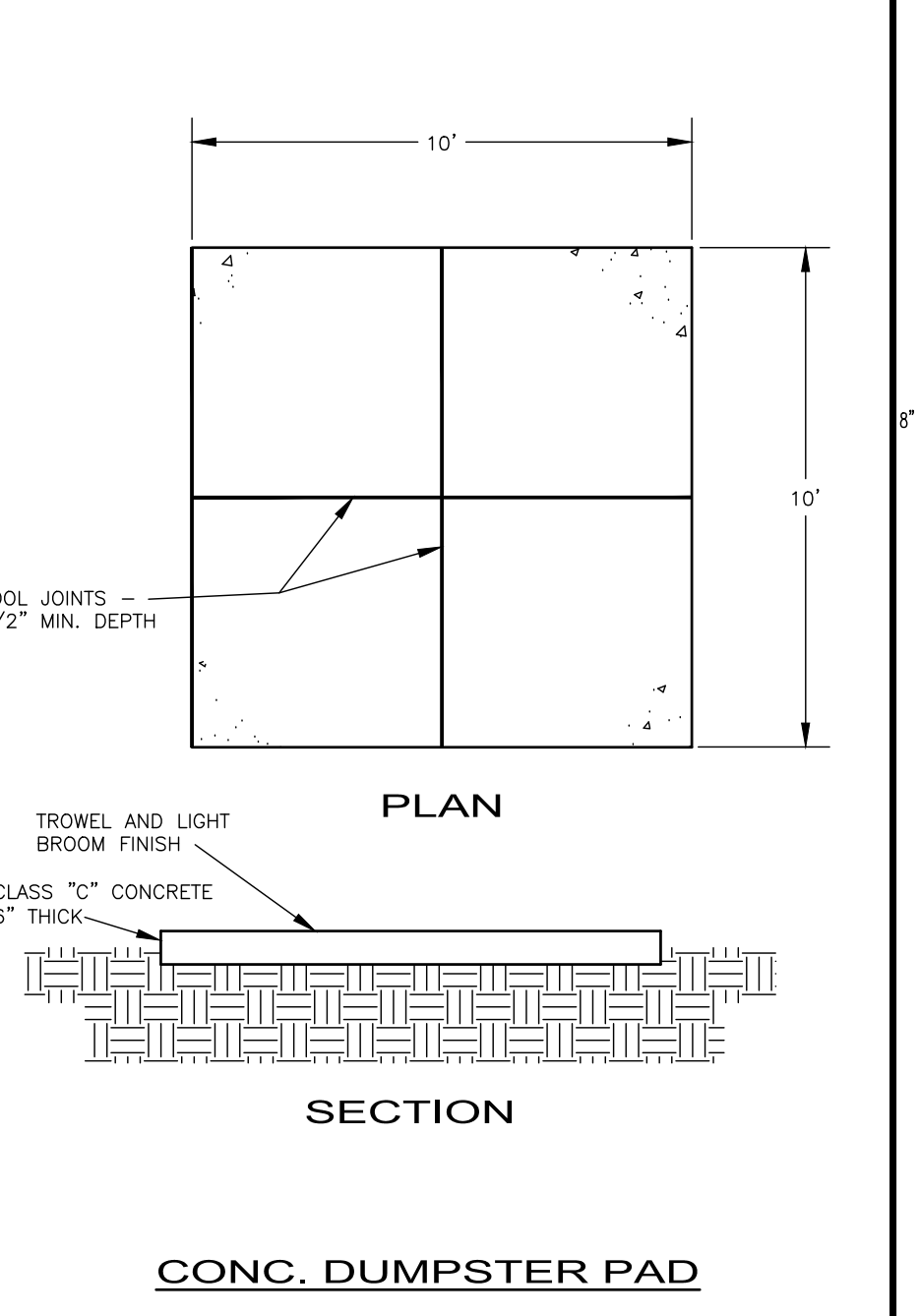
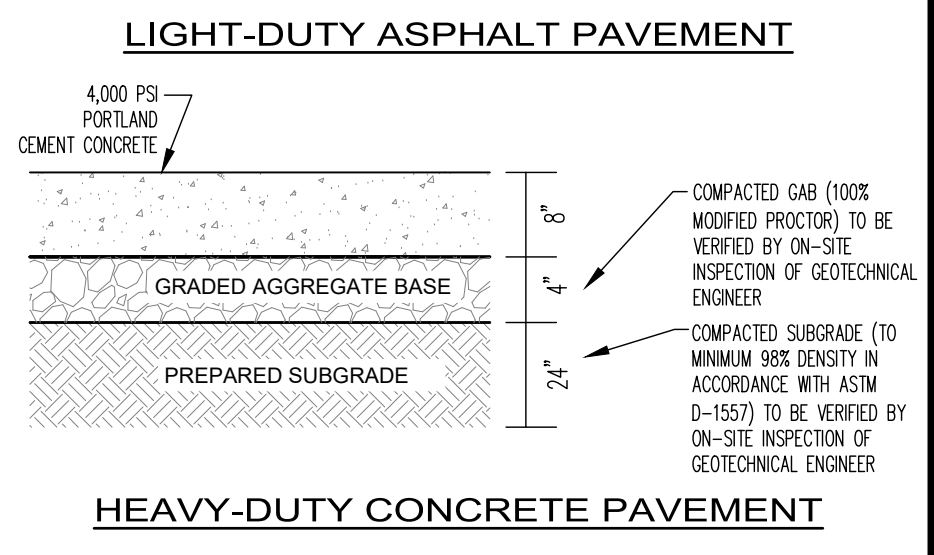
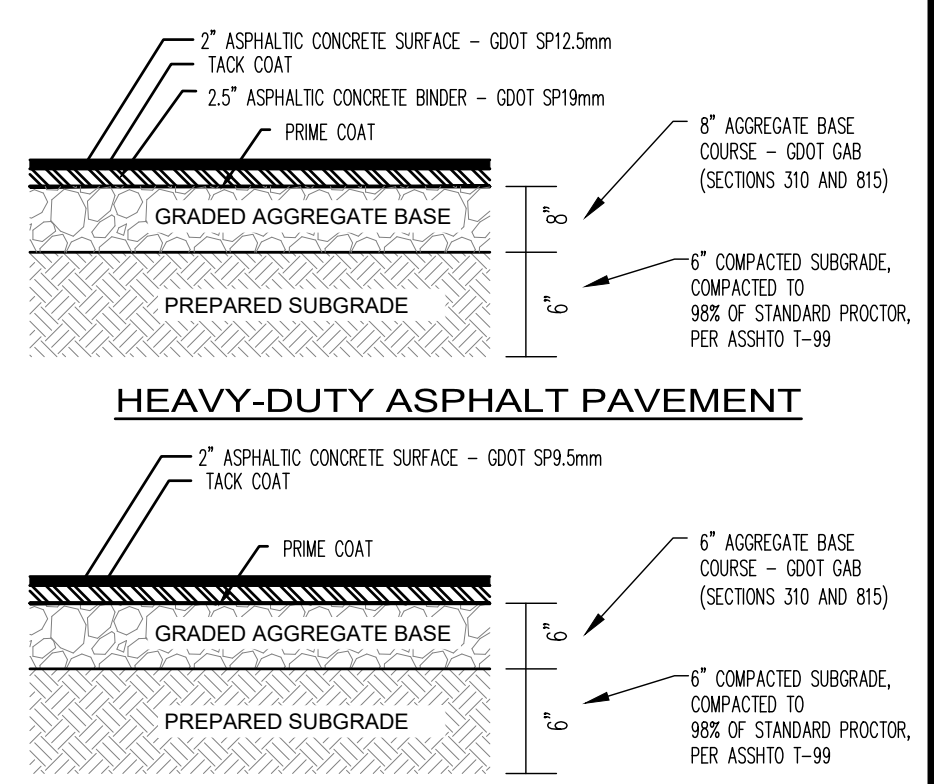


GYM STREET CONNECTOR



**HIGH BACK CURB**  
30" CURB TO BE USED INSIDE ALL R/W'S.  
24" CURB TO BE USED INTERNAL TO SITE.

**HEAVY-DUTY ASPHALT PAVEMENT**  
2" ASPHALTIC CONCRETE SURFACE - GOOD SP12.5mm TACK COAT  
2.5" ASPHALTIC CONCRETE BINDER - GOOD SP19mm PRIME COAT  
8" AGGREGATE BASE COURSE - GOOD GAB (SECTIONS 310 AND B15)  
6" COMPACTED SUBGRADE, COMPACTED TO 98% OF STANDARD PROCTOR, PER ASSHTO T-99  
PREPARED SUBGRADE



LEVEL II CERTIFIED DESIGN PROFESSIONAL

**GSWCC**  
GEORGIA SOIL AND WATER CONSERVATION COMMISSION  
ROBERT A. CONE, R.L.A.  
CERTIFICATION NUMBER: 0000039604  
EXPIRES: 05/21/2026

PREPARED BY  
**Land Solution Associates, LLC**  
P.O. Box 187  
Tiger, GA 30576  
(o) 678.725.4631  
(e) landsolutionsassociates@gmail.com  
CONTACT: ROBERT 'BO' CONE

OWNER/DEVELOPER:  
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3343 BEECH HOLLOW COURT  
LOGANVILLE, GA 30052  
24-HR CONTACT:  
JOHN LANGE 404-731-7811  
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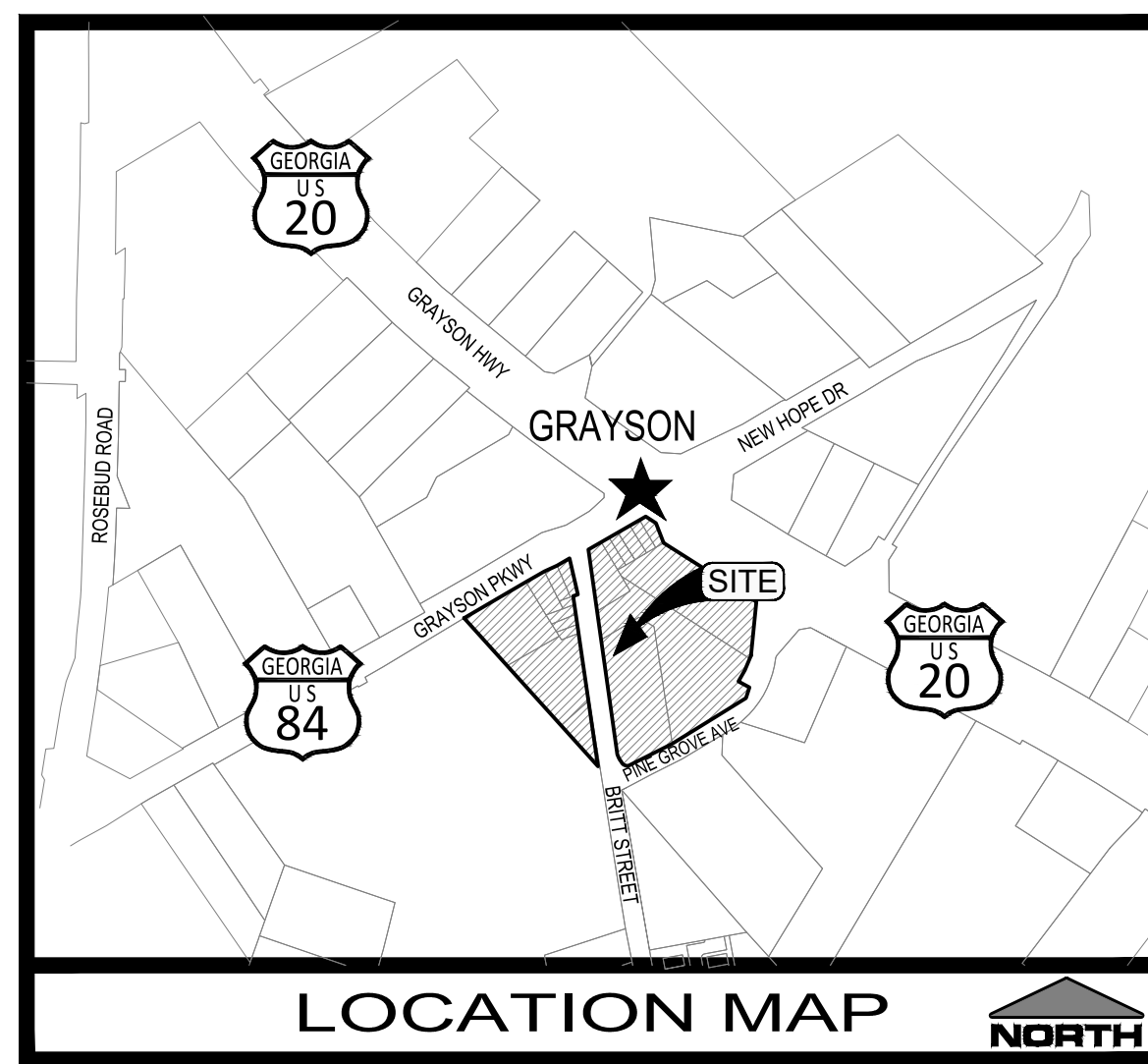
**BRITT STREET SPUR**  
LAND LOT 135 - 5th DISTRICT  
PARCEL ID: 5135A065  
CITY OF GRAYSON (GWINNETT CO.), GEORGIA  
ROAD PROFILE & CONSTRUCTION DETAILS  
SHEET TITLE:

SIGNED / SEALED

DATE:	
REVISION:	
NO.	

DESIGNED BY: RAC SCALE: AS SHOWN  
DRAWN BY: JAM  
CHECKED BY: RAC  
**C-6**  
SHEET  
24-006 2-Apr-24





EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25-FEET OF THE COASTAL MARSHLAND BUFFER FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.

ALL DISTURBED AREAS TO BE LEFT IDLE FOR LESS THAN TWO WEEKS TO BE TREATED WITH MULCH (Ds1). AREAS LEFT IDLE FOR TWO TO FOUR WEEKS SHALL BE TREATED WITH TEMPORARY GRASSING (Ds2). AREAS LEFT IDLE FOR FOUR WEEKS OR MORE TO BE ESTABLISHED WITH PERMANENT GRASSING (Ds3).

TEMPORARY EROSION CONTROL MEASURES TO REMAIN IN PLACE UNTIL FINAL STABILIZATION.

ATTENTION: AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE SIGNIFICANT EFFECT ON BMP'S WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.

WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

**Du**  
OFF-SITE VEHICLE TRACKING OF DIRT, SOILS, AND SEDIMENTS AND THE GENERATION OF DUST SHALL BE MINIMIZED OR ELIMINATED TO THE MAXIMUM EXTENT PRACTICAL. THE PLAN SHALL INCLUDE THE BEST MANAGEMENT PRACTICE TO BE IMPLEMENTED AT THE SITE OR CONSTRUCTION ACTIVITY.

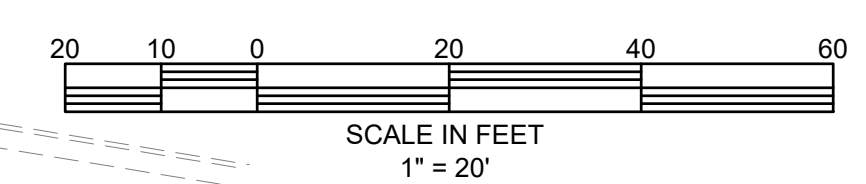
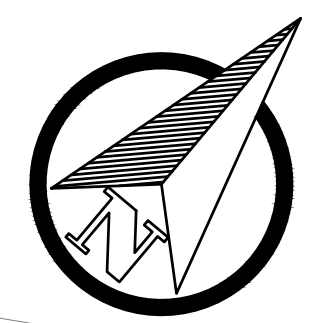
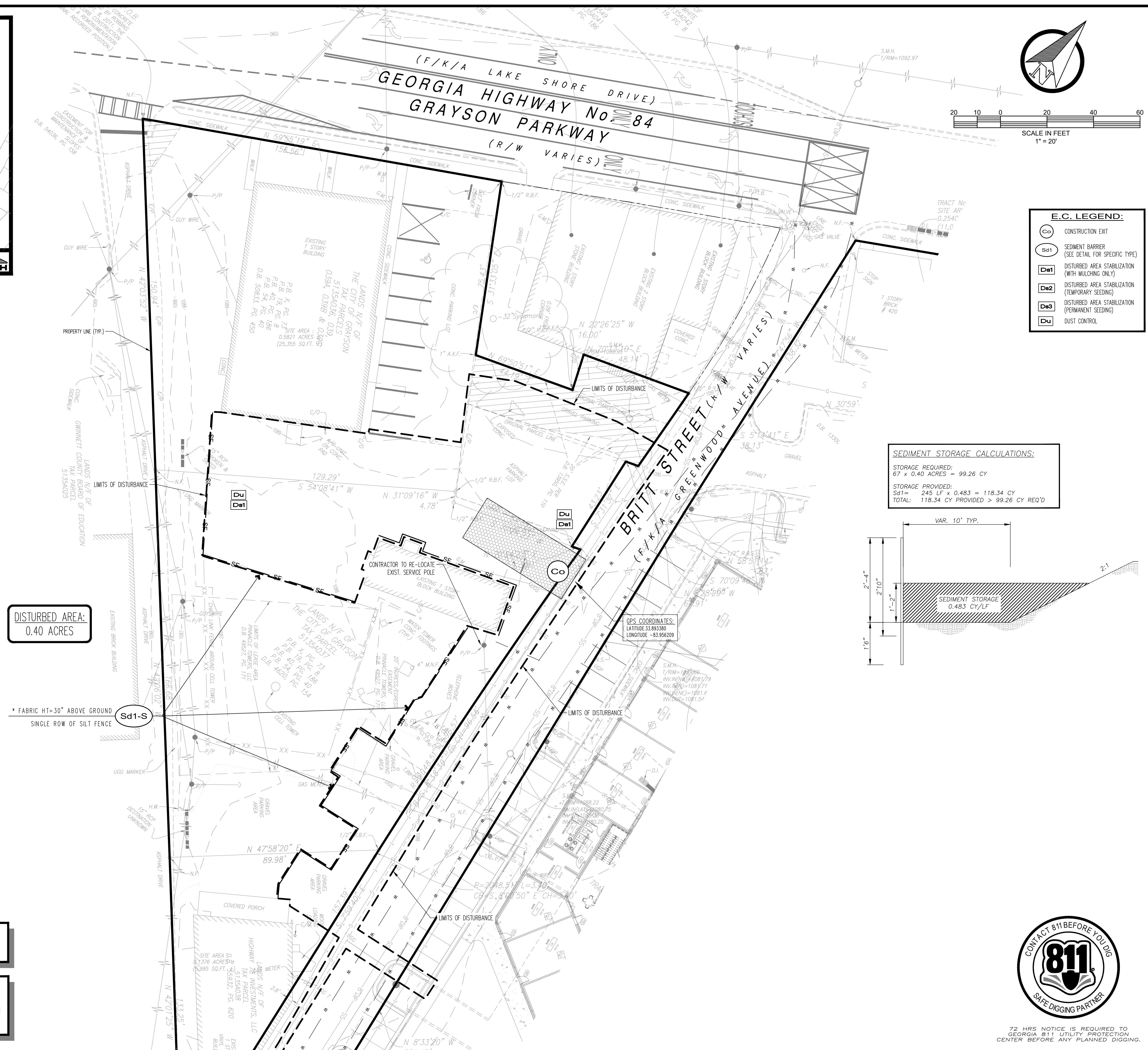
**E.C. FOR BUILDING MATERIALS:**  
PLASTIC SHEETING OR TEMPORARY ROOFS TO BE USED TO COVER BUILDING MATERIALS, BUILDING PRODUCTS, CONSTRUCTION WASTES, TRASH, LANDSCAPE MATERIALS, FERTILIZERS, PESTICIDES, HERBICIDES, DETERGENTS, SANITARY WASTE, AND OTHER MATERIALS IN ORDER TO MINIMIZE EXPOSURE TO PRECIPITATION AND TO STORMWATER.

THERE ARE [ ] / ARE NO [X] WATERS OF THE STATE WITHIN 200 FEET OF THE PROJECT SITE.

N.P.D.E.S. STORMWATER MONITORING AND THE REGULATIONS OF GAR 100001 DO NOT APPLY TO THIS PROJECT DUE TO THE FACT THAT LESS THAN 1.00 ACRE IS DISTURBED.

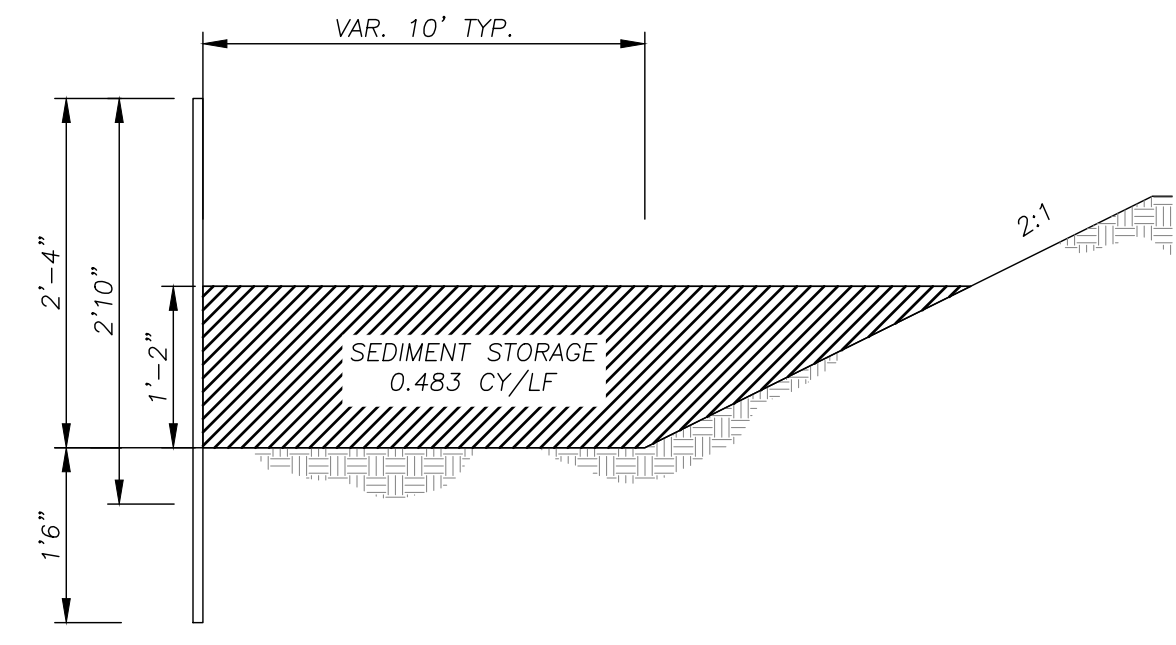
DISTURBED AREA:  
0.40 ACRES

\* FABRIC HT=30" ABOVE GROUND  
**Sd1-S**  
SINGLE ROW OF SILT FENCE



- E.C. LEGEND:**
- Co** CONSTRUCTION EXIT
  - Sd1** SEDIMENT BARRIER (SEE DETAIL FOR SPECIFIC TYPE)
  - Ds1** DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)
  - Ds2** DISTURBED AREA STABILIZATION (TEMPORARY SEEDING)
  - Ds3** DISTURBED AREA STABILIZATION (PERMANENT SEEDING)
  - Du** DUST CONTROL

**SEDIMENT STORAGE CALCULATIONS:**  
STORAGE REQUIRED:  
67 x 0.40 ACRES = 99.26 CY  
STORAGE PROVIDED:  
Sd1 = 245 LF x 0.483 = 118.34 CY  
TOTAL: 118.34 CY PROVIDED > 99.26 CY REQ'D



72 HRS NOTICE IS REQUIRED TO GEORGIA 811 UTILITY PROTECTION CENTER BEFORE ANY PLANNED DIGGING.

LEVEL II CERTIFIED DESIGN PROFESSIONAL

**GSWCC**  
GEORGIA SOIL AND WATER CONSERVATION COMMISSION  
ROBERT A. CONE, R.L.A.  
CERTIFICATION NUMBER: 0000039604  
EXPIRES: 05/21/2026

PREPARED BY  
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P.O. Box 187  
Tiger, GA 30576  
(o) 678.725.4631  
(e) landsolutionsassociates@gmail.com  
CONTACT: ROBERT "BO" CONE

OWNER/DEVELOPER:  
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LOGANVILLE, GA 30052  
24-HR CONTACT:  
JOHN LANGE 404-731-7811  
lange.john@comcast.net

**BRITT STREET SPUR**

LAND LOT 135 - 5th DISTRICT  
PARCEL ID: 5135A086  
CITY OF GRAYSON (GWINNETT CO.), GEORGIA

SHEET TITLE:  
E.S. & P.C. PLAN  
INITIAL PHASE

SIGNED / SEALED

DATE:

REVISION

DESIGNED BY: RAC SCALE: AS SHOWN

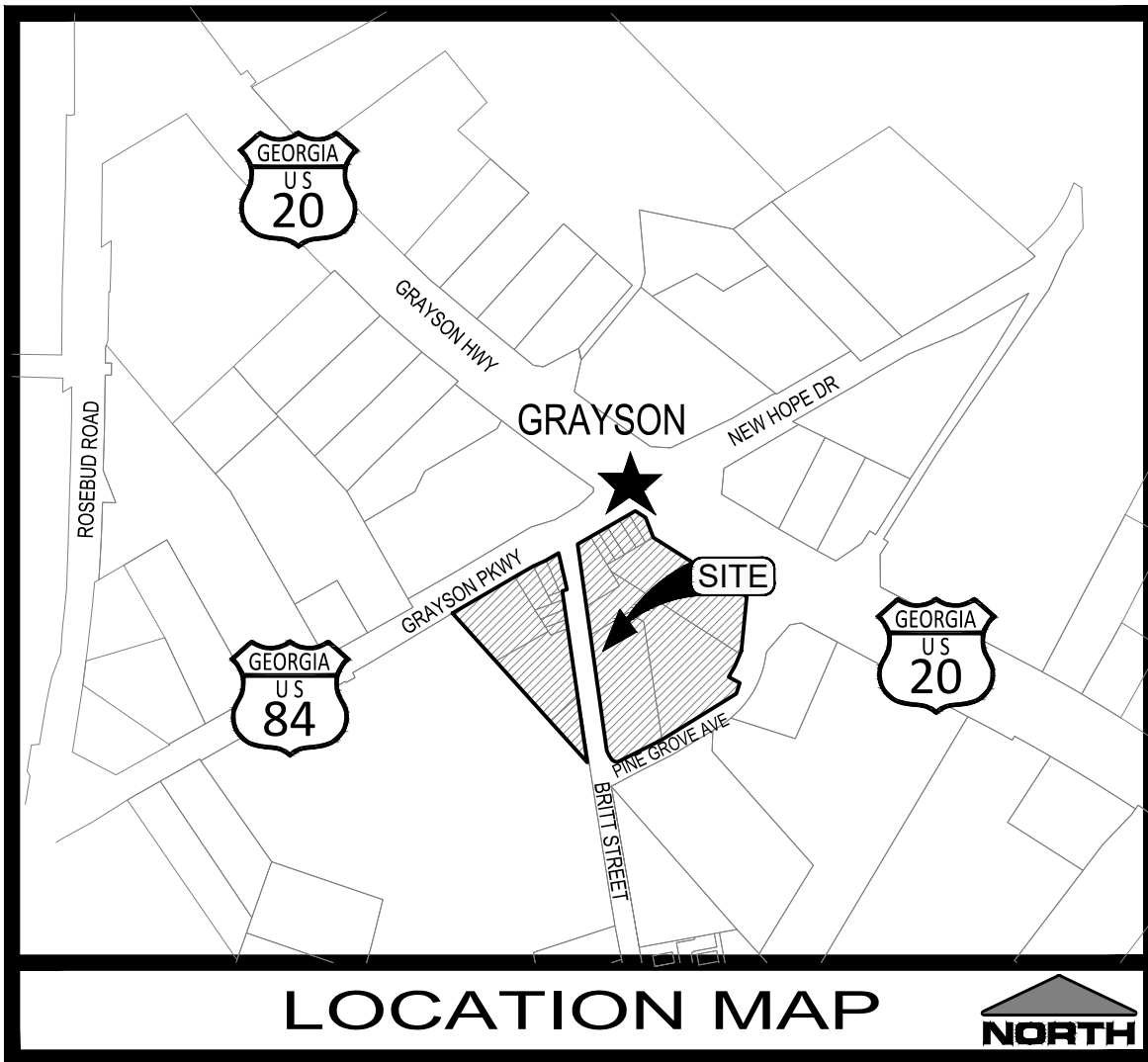
DRAWN BY: JAM

CHECKED BY: RAC

**C-8**  
SHEET

24-006 2-Apr-24





EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25-FEET OF THE COASTAL MARSHLAND BUFFER FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.

ALL DISTURBED AREAS TO BE LEFT IDLE FOR LESS THAN TWO WEEKS TO BE TREATED WITH MULCH (Ds1). AREAS LEFT IDLE FOR TWO TO FOUR WEEKS SHALL BE TREATED WITH TEMPORARY GRASSING (Ds2). AREAS LEFT IDLE FOR FOUR WEEKS OR MORE TO BE ESTABLISHED WITH PERMANENT GRASSING (Ds3).

TEMPORARY EROSION CONTROL MEASURES TO REMAIN IN PLACE UNTIL FINAL STABILIZATION.

ATTENTION: AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE SIGNIFICANT EFFECT ON BMP'S WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.

WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

**Du**

OFF-SITE VEHICLE TRACKING OF DIRT, SOILS, AND SEDIMENTS AND THE GENERATION OF DUST SHALL BE MINIMIZED OR ELIMINATED TO THE MAXIMUM EXTENT PRACTICAL. THE PLAN SHALL INCLUDE THE BEST MANAGEMENT PRACTICE TO BE IMPLEMENTED AT THE SITE OR CONSTRUCTION ACTIVITY.

**E.C. FOR BUILDING MATERIALS:**

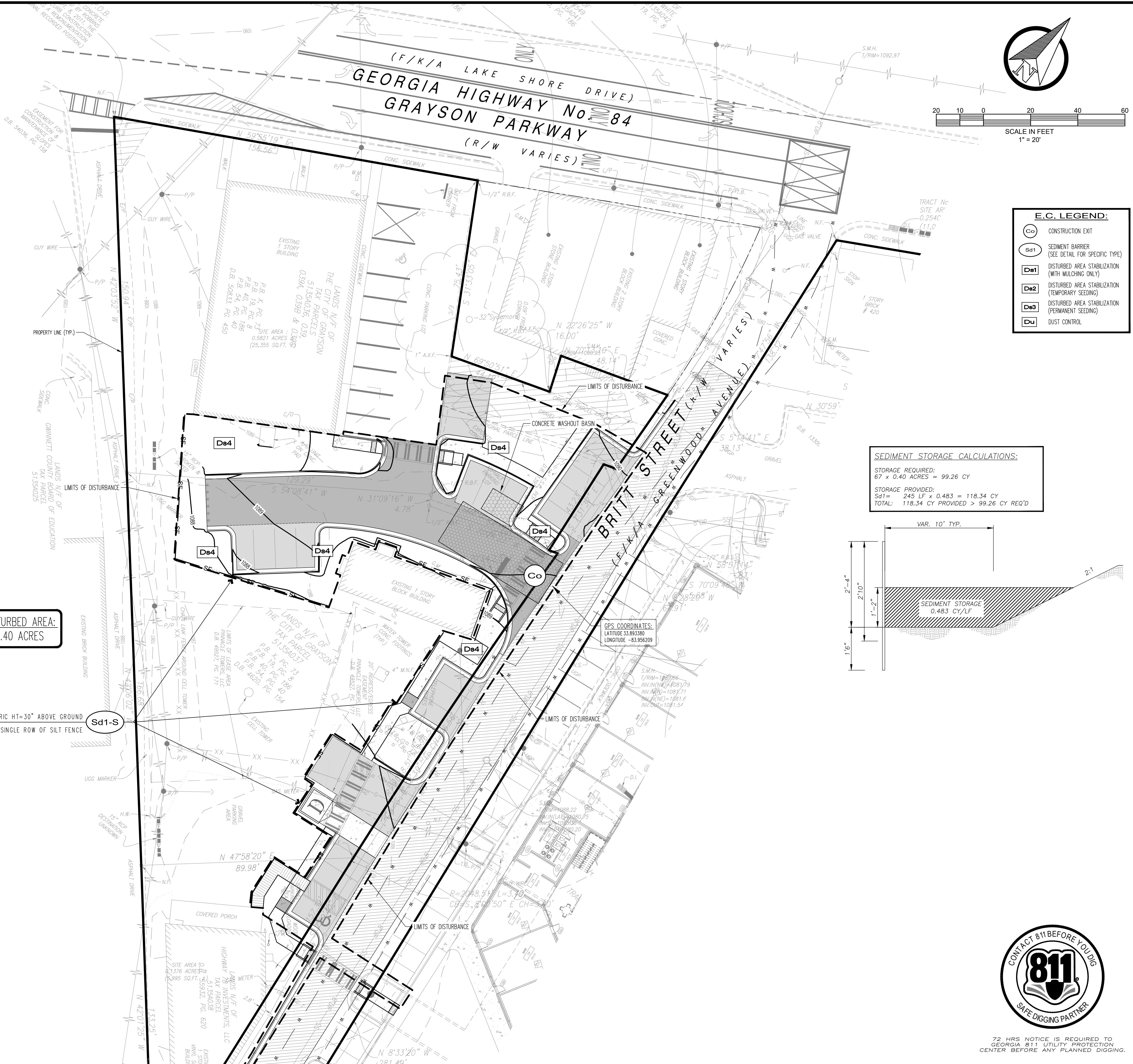
PLASTIC SHEETING OR TEMPORARY ROOFS TO BE USED TO COVER BUILDING MATERIALS, BUILDING PRODUCTS, CONSTRUCTION WASTES, TRASH, LANDSCAPE MATERIALS, FERTILIZERS, PESTICIDES, HERBICIDES, DETERGENTS, SANITARY WASTE, AND OTHER MATERIALS IN ORDER TO MINIMIZE EXPOSURE TO PRECIPITATION AND TO STORMWATER.

THERE ARE [ ] / ARE NO [X] WATERS OF THE STATE WITHIN 200 FEET OF THE PROJECT SITE.

N.P.D.E.S. STORMWATER MONITORING AND THE REGULATIONS OF GAR 100001 DO NOT APPLY TO THIS PROJECT DUE TO THE FACT THAT LESS THAN 1.00 ACRE IS DISTURBED.

DISTURBED AREA:  
0.40 ACRES

\* FABRIC HT=30" ABOVE GROUND  
Sd1-S  
SINGLE ROW OF SILT FENCE



**E.C. LEGEND:**

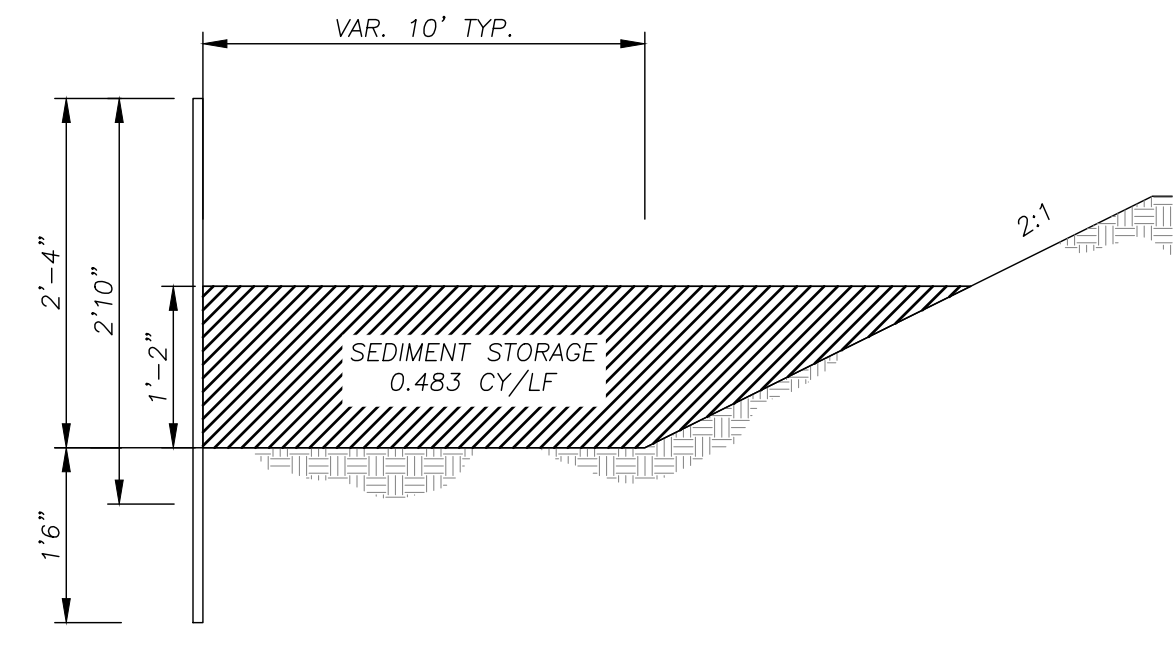
- Co** CONSTRUCTION EXIT (SEE DETAIL FOR SPECIFIC TYPE)
- Sd1** SEDIMENT BARRIER (SEE DETAIL FOR SPECIFIC TYPE)
- Ds1** DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)
- Ds2** DISTURBED AREA STABILIZATION (TEMPORARY SEEDING)
- Ds3** DISTURBED AREA STABILIZATION (PERMANENT SEEDING)
- Du** DUST CONTROL

**SEDIMENT STORAGE CALCULATIONS:**

STORAGE REQUIRED:  
67 x 0.40 ACRES = 99.26 CY

STORAGE PROVIDED:  
Sd1 = 245 LF x 0.483 = 118.34 CY

TOTAL: 118.34 CY PROVIDED > 99.26 CY REQ'D



72 HRS NOTICE IS REQUIRED TO GEORGIA 811 UTILITY PROTECTION CENTER BEFORE ANY PLANNED DIGGING.

LEVEL II CERTIFIED DESIGN PROFESSIONAL

**GSWCC**  
GEORGIA SOIL AND WATER CONSERVATION COMMISSION  
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CERTIFICATION NUMBER: 0000039604  
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OWNER/DEVELOPER:  
**GRAY RAIL, LLC**  
3343 BEECH HOLLOW COURT  
LOGANVILLE, GA 30052  
24-HR CONTACT:  
JOHN LANGE 404-731-7811  
lange.john@comcast.net

**BRITT STREET SPUR**  
LAND LOT 135 - 5th DISTRICT  
PARCEL ID: 5135A066  
CITY OF GRAYSON (GWINNETT CO.), GEORGIA  
SHEET TITLE: E.S. & P.C. PLAN INTERMEDIATE & FINAL PHASES

SIGNED / SEALED

DATE:	REVISION:	NO.

DESIGNED BY: RAC SCALE: AS SHOWN  
DRAWN BY: JAM  
CHECKED BY: RAC  
**C-9**  
SHEET  
24-006 2-Apr-24



