P.O.B. POINT OF BEGINNING F.H. FIRE HYDRANT DUCTILE IRON PIPE I.C.V. IRRIGATION CONTROL VALVE POLYVINYLCHLORIDE PIPE RIGHT OF WAY WATER LINE C.B. CATCH BASIN NOW OR FORMERLY WATER METER CURB INLET WATER VALVE DROP INLET CRIMPED TOP FOUND SPRINKLER HEAD W.B. WIER BOX RFBAR FOUND J.B. JUNCTION BOX OPEN TOP FOUND VALVE MARKER F.E.S. FLARED END SECTION A.X.F. AXLE FOUND HANDICAPPED PARKING H.W. HEAD WALL ANGLE IRON FOUND SIGN POST WIER INLET SIAMESE CONNECTION RAILROAD SPIKE FOUND S.M.H. SANITARY MANHOLE GAS METER HUB & TACK FOUND GAS VALVE CLEAN OUT GAS LINE STUB OUT SCRIBED "X" FOUND INVERT TELEPHONE LINE MONUMENT FOUND ELECTRIC MANHOLE TELEPHONE MANHOLE OVERHEAD POWER LINE TELEPHONE BOX SCRIBED " ELECTRIC OUTLET CABLE LINE MONUMENT SET HUB & TACK SET UTILITY POLE TELEPHONE MARKER UNDERGROUND POWER LINE BUILDING LINE N.S. NAIL SET ← GUY WIRE CENTERLINE EDGE OF PAVEMENT ELECTRIC METER BENCHMARK POWER POLE M.W. MONITORING WELL CORRUGATED METAL PIPE REINFORCED CONCRETE PIPE L/P TRANS. TRANSFORMER RCP LIGHT POLE

UTILITY NOTE

APPROXIMATE LOCATIONS OF UNDERGROUND UTILITIES, AS SHOWN BY THIS SURVEY, ARE BASED UPON FIELD OBSERVATION ONLY. ROBBINS LAND SURVEYING. INC. IS UNABLE TO CERTIFY TO THE ACCURACY OR COMPLETENESS OF THIS INFORMATION. ALL UNDERGROUND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION BY THE UTILITY PROTECTION CENTER AT 811.

UNDERGROUND UTILITIES SERVING OR CROSSING THE PREMISES MAY EXIST THAT ARE NOT SHOWN. ROBBINS LAND SURVEYING, INC. MAY NOT HAVE FULL KNOWLEDGE OF ALL UNDERGROUND UTILITIES.

ABOVE GROUND UTILITY LOCATIONS WERE OBTAINED FROM FIELD OBSERVATIONS. ABANDONED UNDERGROUND UTILITY LINES, IF ANY, ARE NOT SHOWN.

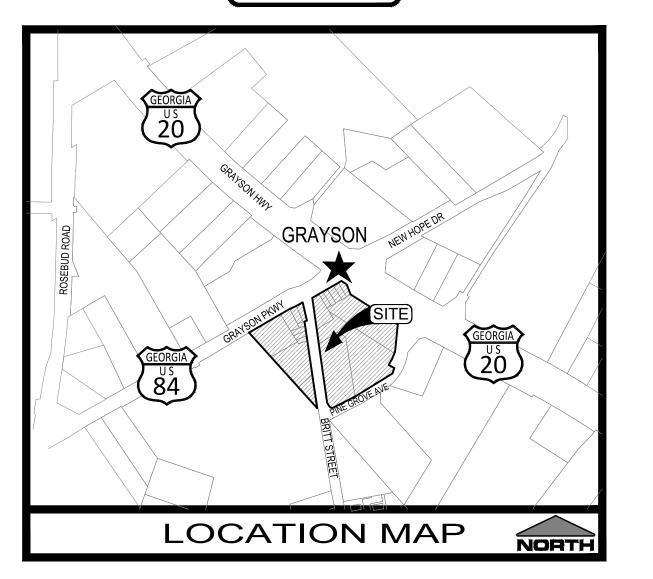
CIVIL SITE DEVELOPMENT DRAWINGS FOR:

BRITT STREET SPUR

TAX MAP ID: 5135A065

LAT: 33.893380 LONG: -83.956209 **ZONING: PUD**

ISTURBED AREA



ANTICIPATED CONSTRUCTION SCHEDULE

ANTICIPATED		10	<u> </u>	<u> </u>	\cup	$\overline{}$	1		<u> </u>	1 /	<u> </u>	⊸ Г	1 0		<u>ノし</u>	ノL		-		
	2024																			
ACTIVITY	ı	MC)	1	l	ИC). <i>i</i>	2	N	ИC). ;	3	N	MO. 4			MO. 5			 5
	1	2	3	4	1	2	3	4	1	2	3	4	1	2	3	4	1	2	3	4
EROSION CONTROL / BMP INSTALLATION																				
EROSION CONTROL / BMP MAINTENANCE*																				
DEMOLITION																				
GRADING																				
STORM DRAINAGE																				
UTILITIES (WATER, SEWER, ETC.)																				
PARKING SUBBASE																				
BUILDING																				
FINAL PAVING																				
LANDSCAPING & GRASSING																				

- * MAINTENANCE OF EROSION AND SEDIMENT CONTROL WILL BE MONITORED DAILY AND INSPECTED WEEKLY THROUGHOUT PROJECT.
- ** NOTIFY INSPECTOR 24 HOURS BEFORE BEGINNING EVERY PHASE OF CONSTRUCTION. *** CONTRACTOR IS TO REMOVE ALL TEMPORARY SEDIMENT CONTROL AFTER FINAL STABILIZATION OF SITE.

CERTIFICATE OF DEVELOPMENT PLANS APPROVAL:

"ALL REQUIREMENTS OF THE CITY OF GRAYSON DEVELOPMENT REGULATIONS RELATIVE TO THE PREPARATION AND SUBMISSION OF A DEVELOPMENT PERMIT APPLICATION HAVING BEEN FULFILLED, AND SAID APPLICATION AND ALL SUPPORTING PLANS AND DATA HAVING BEEN REVIEWED AND APPROVED BY ALL AFFECTED AGENCIES AS REQUIRED UNDER THEIR RESPECTIVE AND APPLICABLE REGULATIONS, APPROVAL IS HEREBY GRANTED, ON THIS SITE PLAN AND ALL OTHER DEVELOPMENT PLANS ASSOCIATED WITH THIS PROJECT, SUBJECT TO ALL FURTHER PROVISIONS OF SAID DEVELOPMENT AND OTHER CITY EXISTING REGULATIONS."

MAYOR, CITY OF GRAYSON

DATE

72 HRS NOTICE IS REQUIRED TO GEORGIA 811 UTILITY PROTECTION CENTER BEFORE ANY PLANNED DIGGING.

EFFECTIVE DATE OF THIS PERMIT, THE PRIMARY PERMITTEE MUST RETAIN THE DESIGN PROFESSIONAL WHO PREPARED THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, OR AN ALTERNATIVE DESIGN PROFESSIONAL APPROVED BY EPD IN WRITING, TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPs WHICH THE DESIGN PROFESSIONAL DESIGNED WITHIN SEVEN (7) DAYS AFTER INSTALLATION. THE DESIGN PROFESSIONAL SHALL DETERMINE IF THESE BMPs HAVE BEEN INSTALLED AND ARE BEING MAINTAINED AS DESIGNED. THE DESIGN PROFESSIONAL SHALL REPORT THE RESULTS OF THE INSPECTION TO THE PRIMARY PERMITTEE WITHIN SEVEN (7) DAYS AND THE PERMITTEE MUST CORRECT ALL DEFICIENCIES WITHIN TWO (2) BUSINESS DAYS OF RECEIPT OF THE INSPECTION REPORT FROM THE DESIGN PROFESSIONAL UNLESS WEATHER RELATED SITE CONDITIONS ARE SUCH THAT ADDITIONAL TIME IS REQUIRED.

REVISIONS OR AMENDMENTS TO THESE PLANS SHOULD BE SUBMITTED TO THE LOCAL ISSUING AUTHORITY FOR REVIEW.

NPDES CERTIFICATIONS

I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" (MANUAL) PUBLISHED BY THE STATE SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED, PROVIDES FOR THE SAMPLING OF THE RECEIVING WATER(S) OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGÈMENT PRACTICES MEETS THE DESIGN REQUIREMENTS AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GAR 100001.

- 2. "I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION."
- GEORGIA'S 2012 OR SUBSEQUENT 305(b)/303(d) LIST DOCUMENTS HAVE BEEN CONSULTED. IT WAS DETERMINED

THAT THIS SITE DOES NOT DRAIN INTO AN IMPAIRED STREAM SEGMENT, NOR IS WITHIN 1 LINEAR MILE UPSTREAM OF AND WITHIN THE SAME WATERSHED AS, ANY PORTION OF A BIOTA IMPAIRED STREAM SEGMENT. ROBERT A. CONE, RLA # 1151, GWSCC # 39604

UTILITY NOTES:

- 1. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO EXCAVATION OR DEMOLITION. ADDITIONAL UTILITIES MAY NOT BE SHOWN ON THESE PLANS.
- 2. IF THE CONTRACTOR DAMAGES ANY EXISTING UTILITIES DURING CONSTRUCTION, HE SHALL, AT HIS OWN EXPENSE, REPLACE OR REPAIR THE UTILITIES TO THEIR ORIGINAL CONDITION AND QUALITY, AS APPROVED BY THE ENGINEER AND REPRESENTATIVE OF THE APPROPRIATE UTILITY COMPANY.
- 3. THE CONTRACTOR SHALL NOTIFY EACH INDIVIDUAL UTILITY OWNER OF HIS PLAN OF OPERATION IN THE AREA OF UTILITIES. PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL CONTACT THE UTILITY OWNERS AND REQUEST THEM TO PROPERLY LOCATE THEIR RESPECTIVE UTILITY ON THE GROUND. THIS NOTIFICATION SHALL BE GIVEN AT LEAST THREE BUSINESS DAYS PRIOR TO COMMENCEMENT OF OPERATIONS BETWEEN 7:00AM AND 7:00PM MONDAY
- 4. UNLESS OTHERWISE NOTED, UTILITY OWNERS ARE TO RESET, RELAY, OR READJUST ALL PUBLIC AND PRIVATE UTILITIES CONFLICTING WITH PROPOSED IMPROVEMENT. THE CONTRACTOR WILL BE REQUIRED TO COOPERATE WITH THE OWNERS OF LOCAL UTILITIES IN THE ADJUSTMENT OF THEIR FACILITIES WHERE THEY INTERFERE WITH CONSTRUCTION. THE COSTS FOR THIS WORK WILL BE AT THE CONTRACTOR'S EXPENSE.
- 5. ALL MATERIALS AND INSTALLATION SHALL BE IN COMPLIANCE WITH LOCAL REQUIREMENTS.
- 6. CONTRACTOR TO INSTALL BACKFLOW PREVENTER AT ALL WATER METER LOCATIONS.
- 7. MINIMUM COVER FOR ALL WATER LINES SHALL BE 48 INCHES.
- 8. SEE ARCHITECTURAL PLANS FOR LOCATION OF WATER, SEWER AND GAS LINES WITHIN PROPOSED BUILDING.
- 9. A MINIMUM HORIZONTAL SEPARATION OF 10 FEET SHALL BE MAINTAINED BETWEEN WATER LINES AND SANITARY SEWERS. AN 18 INCH MINIMUM VERTICAL SEPARATION SHALL BE MAINTAINED AT CROSSINGS. WHEN CROSSING A WATERLINE OR SEWER LINE, PIPE JOINTS SHALL BE PLACED AS FAR AWAY AS POSSIBLE FROM THE OTHER PIPE.

SHEET INDEX

C-6 ROAD PROFILE & CONSTRUCTION DETAILS

E.S.& P.C. PLAN INTERMEDIATE & FINAL

C-2 GSWCC CHECKLIST & SOILS INFO

C-3 | CONSTRUCTION NOTES C-4 SITE & UTILITY PLAN

C-7 E.S.& P.C. NOTES

PHASES

C-10 GSWCC DETAILS C-11 GSWCC DETAILS

C-5 GRADING & DRAINAGE PLAN

C-8 E.S.& P.C. PLAN INITIAL PHASE

SHEET TITLE

SHT.#

C-1 COVER

FOR STAND ALONE PROJECTS THAT BEGIN CONSTRUCTION ACTIVITY AFTER THE

Land Solution Associates,

Tiger, GA 30576 (o) 678.725.4631 (e) landsolutionassociates@gmail.com

P.O. Box 187

LEVEL II CERTIFIED DESIGN PROFESSIONAL

GEORGIA SOIL AND WATER CONSERVATION COMMISSION

ROBERT A. CONE, R.L.A.

CERTIFICATION NUMBER: 0000039604

EXPIRES: 05/21/2026

PREPARED BY

CONTACT: ROBERT "BO" CONE OWNER/DEVELOPER:

GRAY RAIL, LLC 3343 BEECH HOLLOW COURT LOGANVILLE, GA 30052

24-HR CONTACT: JOHN LANGE 404-731-7811 lange.john@comcast.net

 \circ



REVISION				
No.				

ESIGNED BY: RAC SCALE: AS SHOWN

IECKED BY: RAC

RAWN BY: JAM

EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN CHECKLIST

		CONSTRUCTION PROJECTS	
Project Name:	SWCD: Britt Street Spur	Address:	(TBD)
City/County:	Grayson (Gwinnett Co.)	Date on Plans:	4/2/24
Name&email of	person filling out checklist:	Robert "Bo" Cone - landsoluti	onassociates@gmail.com
Plan Included	TO BE SH	OWN ON ES&PC PLAN	
Page # Y/N			blished by the Commission
2 Y	1 The applicable Erosion, Sedimentation an as of January 1 of the year in which the la		blished by the Commission
	(The completed Checklist must be submit	* * *	ill not be reviewed)
ALL Y	2 Level II certification number issued by the	Commission, signature and seal of the	certified design professional.
'	(Signature, seal and Level II number must reviewed)	t be on each sheet pertaining to ES&PC	C plan or the Plan will not be
N/A	3 Limits of disturbance shall be no greater the	nan 50 acres at any one time without p	rior written authorization from
	the GAEPD District Office. If GAEPD app		
	include at least 4 of the BMPs listed in Ap		
	(A copy of the written approval by GAEPD	·	•
1 Y	4 The name and phone number of the 24-ho	•	•
1 Y	5 Provide the name, address, email address	s, and phone number of primary permit	tee.
8-9 Y	6 Note total and disturbed acreages of the p	project or phase under construction.	
8-9 Y	7 Provide the GPS location of the construction	on exit for the site. Give the Latitude a	nd Longitude in decimal degrees.
1 Y	8 Initial date of the Plan and the dates of an	y revisions made to the Plan including	the entity who requested the revisions.
7 Y	9 Description of the nature of construction a	ctivity and existing site conditions.	
1 Y	10 Provide vicinity map showing site's relation	n to surrounding areas. Include desigr	nation of specific phase, if necessary.
7 Y	11 Identify the project receiving waters and d	escribe all sensitive adjacent areas inc	luding streams, lakes,
	residential areas, wetlands, marshlands,	etc. which may be affected.	
7 Y	12 Design professional's certification statement ES&PC Plan as stated on Part IV page 1		ed prior to development of the
1 Y	13 Design professional's certification statement	ent and signature that the permittee's E	S&PC Plan provides for an appropriate
	and comprehensive system of BMPs and	sampling to meet permit requirements	as stated on Part IV page 19 of the pern
1 Y	14 Clearly note the statement that "The designation of the statement of th	n professional who prepared the ES&F	PC Plan is to inspect the installation of th
	initial sediment storage requirements and	•	after installation."
	in accordance with Part IV.A.5 page 25 o	•	
7 Y	15 Clearly note the statement that "Non-exen	·	
	undisturbed stream buffers as measured from the li	•	
	marshland buffer as measured from the Juvariances and permits."	unsulcuonai determination Line Withou	i instacquiring the necessary
N/A	16 Provide a description of any buffer encroa	chments and indicate whether a buffer	variance is required.
7 Y	17 Clearly note the statement that "Amendme		•
	BMPs with a hydraulic component must be		· ·

7 Y 18	Clearly note the statement that "Waste materials shall not be discharged to waters of the State, except as authorized by a Section 404 permit." *
7 Y 19	Clearly note statement that "The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures and practices prior to land disturbing activities."
7 Y 20	Clearly note statement that "Erosion control measures will be maintained at all times. If full implementation of the approved Plan does not provide for effective erosion control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source."
7 Y 21	Clearly note the statement "Any disturbed area left exposed for a period greater than 14 days shall be stabilized with mulch or temporary seeding."
N/A 22	Any construction activity which discharges storm water into an Impaired Stream Segment, or within 1 linear mile upstream of and within the same watershed as, any portion of a Biota Impaired Stream Segment must comply with Part III. C. of the permit. Include the completed Appendix 1 listing all the BMPs that will be used for those areas of the site which discharge to the Impaired Stream Segment. *
N/A 23	If a TMDL Implementation Plan for sediment has been finalized for the Impaired Stream Segment (identified in Item 22 above) at least six months prior to submittal of NOI, the ES&PC Plan must address any site-specific conditions or requirements included in the TMDL Implementation Plan. *
7 Y 24	BMPs for concrete washdown of tools, concrete mixer chutes, hoppers and the rear of the vehicles. Washout of the drum at the construction site is prohibited. *
7 Y 25	Provide BMPs for the remediation of all petroleum spills and leaks.
7 Y 26	Description of the measures that will be installed during the construction process to control pollutants in storm
	water that will occur after construction operations have been completed. *
<u> </u>	Description of practices to provide cover for building materials and building products on site. *
7 Y 28	Description of the practices that will be used to reduce the pollutants in storm water discharges. *
7 Y 29	Description and chart or timeline of the intended sequence of major activities which disturb soils for the major portions of the site (i.e., initial perimeter and sediment storage BMPs, clearing and grubbing activities, excavation activities, utility activities, temporary and final stabilization).
7 Y 30	Provide complete requirements of Inspections and record keeping by the primary permittee. *
7 Y 31	Provide complete requirements of Sampling Frequency and Reporting of sampling results. *
7 Y 32	Provide complete details for Retention of Records as per Part IV.F. of the permit. *
7 Y 33	Description of analytical methods to be used to collect and analyze the samples from each location. *
7 Y 34	Appendix B rationale for NTU values at all outfall sampling points where applicable. *
8-9 Y 35	Delineate all sampling locations, perennial and intermittent streams and other water bodies into which storm water is discharged. *
7 Y 36	A description of appropriate controls and measures that will be implemented at the construction site including: (1) initial sediment storage requirements and perimeter control BMPs, (2) intermediate grading and drainage BMPs, and (3) final BMPs. For construction sites where there will be no mass grading and the initial perimeter control BMPs, intermediate grading and drainage BMPs, and final BMPs are the same, the Plan may combine all of the BMPs into a single phase. *

8-9	Υ	38	Existing and proposed cor	tour lines with contour lines	s drawn at an interval in acco	rdance with the following:
0 3		┛깩	Map Scale	Ground Slope	Contour Intervals, ft.	
			1 inch = 100ft or	Flat 0 - 2%	0.5 or 1	4
			larger scale	Rolling 2 - 8%	1 or 2	
			J	Steep 8% +	2,5 or 10	
	N/A	7 39	Use of alternative BMPs w	hose performance has bee	n documented to be equivale	ent to or superior to
		_	conventional BMPs as ce and Water Conservation C www.gaswcc.georgia.gov.	rtified by a Design Profession Commission). Please refer t	onal (unless disapproved by 0 to the Alternative BMP Guida	GAEPD or the Georgia Sonce Document found at
	N/A	 40		application to the Equivale ontrol in Georgia 2016 Editi	nt BMP List. Please refer to A on. *	Appendix A-2 of the Manu
8-9	Υ	41			urbed buffers adjacent to stat ly note and delineate all area	-
8-9	Υ	42	Delineation of on-site wetle	ands and all state waters lo	cated on and within 200 feet	of the project site.
8-9	Υ	=		f contributing drainage bas		• •
	N/A	≓	_		s for both the pre- and post-de	eveloped conditions. *
Llydra	Y	╡				
Hydro	Y	 45	completed.	oenicient or peak discharge	e flow of the site prior to and a	aner construction activities
8-9	V	7.6	·	velocities with appropriate	outlet protection to accommo	date discharges without
0-3	ř	_	erosion. Identify/Delineate	e all storm water discharge	•	uate discriarges without
2	Υ	47	Soil series for the project s	ite and their delineation.		
8-9	Υ	48	The limits of disturbance for	or each phase of construction	on.	
8-9	Y	1 49	retrofitted detention pond, storage volume must be it site has been achieved. A sediment basin is not attat sediment basin is not provalso be given. Workshee storage design professions from sediment basins and from the surface, unless in	and/or excavated inlet seding place prior to and during a written justification explain inable must be included in wided. A written justification as from the Manual included at to obtain the required sedimpoundments, permittees	rage per acre drained using a ment traps for each common all land disturbance activities ing the decision to use equivathe Plan for each common dras to why 67 cubic yards of start for structural BMPs and all of diment when using equivalent are required to utilize outlet start withdraw water from the included in the Plan.	drainage location. Sedim until final stabilization of the alent controls when a ainage location in which a storage is not attainable metalculations used by the at controls. When discharging structures that withdraw was
8-9	Υ	50			sistent with and no less string rm coding symbols from the M	
10-11	Υ	51	_	for all structural practices. sion and Sediment Control	Specifications must, at a min in Georgia.	imum, meet the guidelines
10-11	Υ	52	dates and seeding, fertilize	er, lime and mulching rates.	manent vegetative practices. Vegetative plan shall be site propriate geographic region o	e specific for appropriate t
		* 1	f using this checklist for a p	roject that is less than 1 acı	re and not part of a common o	development
				stream, the * checklist item		

W. 57 23° W	Soil Map—Gwinnett County,	Georgia	W.£1.23. 83.
33° 53' 39" N 8 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7	226570 226610 226660	226690 226730 226770	
3754340	GEN SON PRAMY		8
MANAGE CONTRACTOR OF THE PARTY	ApB CAPB	Sold Sold Sold Sold Sold Sold Sold Sold	THE HMY
3754220		PiB2 PgB2	375-220
3724180	Hall		3754180
Soil Map may not be valid at this s	scale.		33° 23,31 _" N
226450 226490 226530 Map Scale: 1:1,780 if printed on A landscape (1 N 0 25 50 0 50 100 200	226570 226610 22668 L1" x 8.5") sheet. 100 150 Feet 300 ates: WGS84 Edge tics: UTM Zone 17N WGS84	550 226690 226730 22	26770 226810
USDA Natural Resources Conservation Service	Web Soil Survey National Cooperative Soil S	Survey	5/29/2021 Page 1 of 3

RUSLE2 Related Attributes–Gwinnett County, Georgia														
Map symbol and soil name	Pct. of	Slope	Hydrologic group	Kf	T factor	Representative value								
	map unit	length (ft)				% Sand	% Silt	% Clay						
ApB—Appling-Hard Labor complex, 2 to 6 percent slopes														
Appling	60	121	В	.17	5	67.9	19.6	12.5						
Hard Labor	25	121	С	.20	5	67.9	19.6	12.5						
HdB—Hard Labor sandy loam, 2 to 6 percent slopes														
Hard Labor	100	121	С	.20	5	67.9	19.6	12.5						
PfB2—Pacolet sandy loam, 2 to 6 percent slopes, moderately eroded														
Pacolet, moderately eroded	100	151	В	.15	5	67.0	15.0	18.0						
PgB2—Pacolet sandy clay loam, 2 to 6 percent slopes, moderately eroded														
Pacolet, moderately eroded	99	180	В	.15	5	55.1	17.4	27.5						

LEVEL II CERTIFIED DESIGN PROFESSIONAL

GEORGIA SOIL AND WATER CONSERVATION COMMISSION ROBERT A. CONE, R.L.A. CERTIFICATION NUMBER: 0000039604

EXPIRES: 05/21/2026



P.O. Box 187 Tiger, GA 30576 (o) 678.725.4631 (e) landsolutionassociates@gmail.com CONTACT: ROBERT "BO" CONE

OWNER/DEVELOPER: GRAY RAIL, LLC

3343 BEECH HOLLOW COURT LOGANVILLE, GA 30052 24-HR CONTACT: JOHN LANGE 404-731-7811 lange.john@comcast.net

SPUR

BRITT

SIGNED / SEALED



CHECKED BY: RAC SHEET

GENERAL NOTES:

- 1. THE ENGINEER SHALL BE UNDERSTOOD TO **LAND SOLUTION ASSOCIATES, LLC**, WHO IS THE AUTHORIZED REPRESENTATIVE OF THE OWNER.
- 2. ANY DEVIATIONS FROM THESE PLANS AND SPECIFICATIONS WITHOUT THE PRIOR CONSENT OF THE ENGINEER MAY BE CAUSE FOR THE WORK TO BE UNACCEPTABLE TO THE ENGINEER.

3. PROJECT INFORMATION: ADDRESS:

ADDRESS: 2132 BRITT STREET

PARCEL ID: 5135A065

TOTAL ACREAGE: 4.13 AC. ACRES (BEFORE R/W DEDICATION)
DISTURBED AREA: 0.40 ACRES

ZONING: PUD

- 4. PROPOSED PROJECT IS FOR ADDITIONAL PARKING.
- 5. BOUNDARY & TOPOGRAPHIC SURVEY PREPARED BY ROBBINS LAND SURVEYING, DATED MAY 19, 2021.

 DATUM: GWINNETT CO. GIS
- 6. THIS PROPERTY DOES NOT LIE IN A 100-YR FLOOD ZONE AS SHOWN ON FIRM COMMUNITY PANEL No. 13135C0119F, DATED SEPT. 29, 2006.
- 7. ALL CURB DIMENSIONS ARE TO BACK OF CURB UNLESS NOTED.
- 8. HANDICAP PARKING SPACES SHALL BE DESIGNATED AS RESERVED FOR DISABLED BY A SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. SUCH SIGNS SHALL NOT BE OBSCURED BY VEHICLES PARKING IN THE SPACES.
- 9. ALL WORK SHALL COMPLY WITH APPLICABLE STATE, FEDERAL AND LOCAL CODES. THE CONTRACTOR, AT HIS EXPENSE, SHALL OBTAIN LOCAL CODES AND ALL NECESSARY LICENSES AND PERMITS.
- 10. ALL CONSTRUCTION TO COMPLY WITH **CITY OF GRAYSON** STANDARDS.
- 11. ALL ROAD CONSTRUCTION MATERIALS AND PROCEDURES SHALL CONFORM TO <u>CITY OF GRAYSON, GWINNETT</u>

 <u>COUNTY DEPARTMENT OF TRANSPORTATION STANDARDS OR GEORGIA DEPARTMENT OF TRANSPORTATION WHERE APPLICABLE.</u>
- 12. EACH BUILDING AND ITS RELATIVE LOCATION TO PROPERTY LINES AND OTHER STRUCTURES SHALL COMPLY WITH THE 2012 INTERNATIONAL BUILDING CODE (IBC) WITH GEORGIA STATE AMENDMENTS WITH REGARDS TO THE HEIGHT AND AREA REQUIREMENTS OF IBC TABLE 503 AND THE FIRE RESISTANCE AND HORIZONTAL SEPARATION REQUIREMENTS OF IBC TABLES 601 AND 602.
- 13. HIGH INTENSITY LIGHTING FACILITIES SHALL BE SO ARRANGED THAT THE SOURCE OF ANY LIGHT IS CONCEALED FROM PUBLIC VIEW AND FROM RESIDENTIAL PROPERTY AND DOES NOT INTERFERE WITH TRAFFIC.
- 14. EACH BUSINESS SHALL POST AND MAINTAIN THE ADDRESS OF THE BUILDING IN A CONSPICUOUS PLACE VISIBLE FROM THE STREET NOT MORE THAN 15 FEET OFF THE CURB OR EDGE OF THE STREET. THE ADDRESS SHALL CONSIST OF FIGURES AT LEAST 4 INCHES HIGH ON CONTRASTING BACKGROUND FOR 24 HOURS VISIBILITY.

ADDITIONAL SITE NOTES:

- 1. NOTIFY <u>CITY OF GRAYSON</u> INSPECTIONS 24 HOURS BEFORE BEGINNING OF EVERY PHASE OF CONSTRUCTION (678.518.6070).
- 2. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL SITE IMPROVEMENTS HAVE BEEN COMPLETED.
- 3. NO DRIVE-UP WINDOWS ARE TO BE INSTALLED.
- 4. HIGH INTENSITY LIGHTING FACILITIES SHALL BE SO ARRANGED THAT THE SOURCE OF ANY LIGHT IS CONCEALED FROM PUBLIC VIEW AND FROM ADJACENT RESIDENTIAL PROPERTY AND DOES NOT INTERFERE WITH TRAFFIC.
- 5. ALL BUFFERS AND TREE SAVE AREAS SHALL BE CLEARLY IDENTIFIED BY FLAGGING AND/OR FENCING PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE.
- 6. NO OUTSIDE STORAGE PROPOSED. THIS INCLUDES SUPPLIES, EQUIPMENT, VEHICLES, PRODUCTS, ETC.
- 7. SIGNS, LOCATION, NUMBER, AND SIZE ARE NOT APPROVED UNDER THIS BUILDING PERMIT. A SEPARATE PERMIT IS REQUIRED FOR EACH SIGN.
- 8. ALL CONSTRUCTION TO COMPLY WITH <u>CITY OF GRAYSON, GWINNETT COUNTY, OR GEORGIA DEPARTMENT OF TRANSPORTION</u> STANDARDS WHERE APPLICABLE.
- 9. NO BILLBOARDS ARE PERMITTED.
- 10. NATURAL VEGETATION SHALL REMAIN ON THE PROPERTY UNTIL ISSUANCE OF A DEVELOPMENT PERMIT. NO INTERIM LAND DISTURBANCE PERMITS SHALL BE ISSUED.
- 11. IF NO CURB AND GUTTER EXISTS ON EXISTING ROADWAY, THE SIDEWALKS MUST BE FURTHER SETBACK FROM THE EDGE OF PAVEMENT. LOCATION TO BE APPROVED BY DEPARTMENT OF TRANSPORTATION.

UTILITY NOTES:

- 1. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO EXCAVATION OR DEMOLITION.
 ADDITIONAL UTILITIES MAY NOT BE SHOWN ON THESE PLANS.
- 2. IF THE CONTRACTOR DAMAGES ANY EXISTING UTILITIES DURING CONSTRUCTION, HE SHALL, AT HIS OWN EXPENSE, REPLACE OR REPAIR THE UTILITIES TO THEIR ORIGINAL CONDITION AND QUALITY, AS APPROVED BY THE ENGINEER
- 3. THE CONTRACTOR SHALL NOTIFY EACH INDIVIDUAL UTILITY OWNER OF HIS PLAN OF OPERATION IN THE AREA OF UTILITIES. PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL CONTACT THE UTILITY OWNERS AND REQUEST THEM TO PROPERLY LOCATE THEIR RESPECTIVE UTILITY ON THE GROUND. THIS NOTIFICATION SHALL BE GIVEN AT LEAST THREE BUSINESS DAYS PRIOR TO COMMENCEMENT OF OPERATIONS BETWEEN 7:00AM AND 7:00PM MONDAY THRU FRIDAY.
- 4. UNLESS OTHERWISE NOTED, UTILITY OWNERS ARE TO RESET, RELAY, OR READJUST ALL PUBLIC AND PRIVATE UTILITIES CONFLICTING WITH PROPOSED IMPROVEMENT. THE CONTRACTOR WILL BE REQUIRED TO COOPERATE WITH THE OWNERS OF LOCAL UTILITIES IN THE ADJUSTMENT OF THEIR FACILITIES WHERE THEY INTERFERE WITH CONSTRUCTION. THE COSTS FOR THIS WORK WILL BE AT THE CONTRACTOR'S EXPENSE.
- 5. ALL MATERIALS AND INSTALLATION SHALL BE IN COMPLIANCE WITH LOCAL REQUIREMENTS.
- 6. CONTRACTOR TO INSTALL BACKFLOW PREVENTER AT ALL WATER METER LOCATIONS.
- 7. MINIMUM COVER FOR ALL WATER LINES SHALL BE 48 INCHES.

AND REPRESENTATIVE OF THE APPROPRIATE UTILITY COMPANY.

- 8. SEE ARCHITECTURAL PLANS FOR LOCATION OF WATER, SEWER AND GAS LINES WITHIN PROPOSED BUILDING.
- 9. A MINIMUM HORIZONTAL SEPARATION OF 10 FEET SHALL BE MAINTAINED BETWEEN WATER LINES AND SANITARY SEWERS. AN 18 INCH MINIMUM VERTICAL SEPARATION SHALL BE MAINTAINED AT CROSSINGS. WHEN CROSSING A WATERLINE OR SEWER LINE, PIPE JOINTS SHALL BE PLACED AS FAR AWAY AS POSSIBLE FROM THE OTHER PIPE.
- 10. THE SITE PLAN INDICATES POTABLE WATER SERVICE LINES, AND SANITARY SEWER LATERALS. GEORGIA STATE LAW REQUIRES THIS WORK TO BE INSTALLED BY A GEORGIA LICENSED MASTER PLUMBER. THIS WORK REQUIRES A SEPARATE SITE—PLUMBING PERMIT WHICH IS AVAILABLE FROM THE BUILDING PERMITS. ALL WORK SHALL BE INSPECTED BY THE GWINNETT COUNTY PLUMBING INSPECTION UNIT. INSPECTIONS SHALL BE REQUESTED BY PHONING (678) 518—6277.

GRADING / DRAINAGE NOTES:

- 1. THESE DOCUMENTS REPRESENT THE PROPOSED DEVELOPMENT REQUESTED BY THE INDICATED PROPERTY OWNER. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE IDENTIFICATION, LOCATION AND/OR THE CLASSIFICATION OF ANY WATERS OF THE UNITED STATES AND/OR STATE WATERS LOCATED ON THIS SITE. IT IS THE RESPONSIBILITY OF THIS PROPERTY OWNER TO CONTACT THE APPROPRIATE REGULATORY AGENCY(S) FOR APPROVAL OF ANY WORK ASSOCIATED WITH WATERS OF THE UNITED STATES AND/OR STATE WATERS.
- 2. CONTOUR INTERVAL IS **1 FOOT**.
- 3. ALL BUFFERS ARE TO BE CLEARLY IDENTIFIED WITH FLAGGING AND / OR FENCING PRIOR TO THE COMMENCEMENT OF ANY LAND DISTURBANCE. NO BUFFERS
- 4. ALL EARTHWORK OPERATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA CONSTRUCTION STANDARDS, PART 1926, SUBPART P, EXCAVATIONS, TRENCHING AND SHORING, SUBPART O, MOTOR VEHICLES, MECHANIZED EQUIPMENT. AND MARINE OPERATIONS. AND BE CONDUCTED IN A MANNER ACCEPTABLE TO ENGINEER.
- 5. FILL MATERIALS SHALL CONSIST OF CLEAN SOIL, FREE OF ORGANIC OR DELETERIOUS MATERIALS, ROCKS, OR BROKEN PIECES OF CONCRETE LARGER THAN THREE INCHES IN SIZE, OR ANY OTHER FOREIGN OBJECTS THAT COULD IMPEDE THE COMPACTION RESULTS.
- 6. FILL MATERIALS SHALL BE SPREAD EVENLY IN HORIZONTAL LAYERS IN NOT MORE THAN 8 INCHES IN LOOSE LIFTS OVER THE FULL WIDTH OF FILL AND COMPACTED TO AT LEAST 95% MAXIMUM DRY DENSITY BY STANDARD PROCTOR COMPACTION TEST ASTM D698 UNLESS OTHERWISE NOTED.
- 7. MAXIMUM CUT OR FILL SLOPES IS 2H:1V; EXCEPT EARTHEN DAM EMBANKMENTS, ROCK CUTS, WHERE CERTIFIED BY A PROFESSIONAL GEOTECHNICAL ENGINEER OR AS DISCUSSED IN 8.1.6 SHALL BE 3H:1V (DR 8.1.5).
- 8. GRADE HANDICAP RAMP 12:1 SLOPE TO TOP OF CURB.
- 9. GRADE TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS INTO INLETS.
- 10. SEE GEOTECHNICAL ENGINEER FOR RECOMMENDATIONS CONCERNING PROPER PLACEMENT AND COMPACTION OF
- 11. THE TOPS OF ALL MANHOLES AND UTILITY STRUCTURES LOCATED IN PAVED AREAS TO BE ADJUSTED TO FINISHED GRADE.
- 12. ALL FILL MATERIAL SHALL BE FREE OF ROOTS, ORGANIC MATERIAL AND TRASH AND CONSIST ONLY OF ACCEPTABLE MATERIAL. ALL EMBANKMENTS SHALL BE PLACED IN ACCORDANCE WITH THE LINES AND GRADES INDICATED IN THE PLANS. ALL FILL MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM LABORATORY DRY DENSITY IN ACCORDANCE WITH THE STANDARD PROCTOR COMPACTION TEST (ASTM D-698), UNLESS OTHERWISE NOTED.
- 13. STREAM BUFFER EASEMENTS ARE TO REMAIN IN A NATURAL AND UNDISTURBED CONDITION. NO BUFFERS
- 14. STRUCTURES ARE NOT ALLOWED IN DRAINAGE EASEMENTS.

FIRE DEPT. NOTES:

- 1. VAN ACCESS AISLE SHALL BE A MINIMUM OF 8 FEET WIDE. A COMMON ACCESS AISLE MAY BE SHARED BY 2 VEHICLES. THE ACCESS AISLE SHALL BE TO THE RIGHT OF THE VAN PARKING SPACE. SURFACE SLOPES SHALL NOT EXCEED 1:50 (2%) 120-3-20-17(3).
- 2. AN ADDRESS TO INCLUDE A NUMERICAL AND STREET NAME DESIGNATION IS TO BE PROVIDED: 2132 BRITT STREET.
- 3. CURB RAMPS SHALL BE PROVIDED PER THE REQUIREMENTS OF RULE 120-3-20-18 GEORGIA ACCESSIBILITY CODE.
- 4. SURFACES OF CURB RAMPS SHALL COMPLY WITH RULE 120-3-20-16 GEORGIA ACCESSIBILITY CODE.
- 5. GROUND AND FLOOR SURFACES ALONG ACCESSIBLE ROUTES AND WALKS, RAMPS, STAIRS, AND CURB RAMPS SHALL BE STABLE. FIRM. SLIP RESISTANT. AND COMPLY WITH RULE 120-3-20-19 GEORGIA ACCESSIBILITY CODE.
- 6. CURB RAMPS AT MARKED CROSSINGS SHALL BE WHOLLY WITHIN THE MARKINGS, EXCLUDING FLARED SIDES.
 SIGNAGE SHALL BE LOCATED SO IT CAN NOT BE OBSTRUCTED BY A VEHICLE, RULE 120-3-20-18(9) GEORGIA
- 7. CURB RAMPS SHALL BE LOCATED OR PROTECTED TO PREVENT THEIR OBSTRUCTION BY PARKED VEHICLES, RULE 120-3-20-18(8) GEORGIA ACCESSIBILITY CODE.
- 8. OBJECTS PROJECTING FROM WALL (FOR EXAMPLE, TELEPHONES) WITH THEIR LEADING EDGES BETWEEN 27 INCHES AND 80 INCHES ABOVE THE FINISHED FLOOR SHALL PROTRUDE NO MORE THAN 4 INCHES TO WALKS, HALLS, CORRIDORS, PASSAGEWAYS, OR AISLES. FREE STANDING OBJECTS MOUNTED ON POSTS OR PYLONS MAY OVERHAND 12 INCHES MAXIMUM FROM 27 INCHES TO 80 INCHES ABOVE THE GROUND OR FINISHED FLOOR. PROTRUDING OBJECTS SHALL NOT REDUCE THE CLEAR WIDTH OF AN ACCESSIBLE ROUTE OR MANEUVERING SPACE, RULE 120-3-20-15, GEORGIA ACCESSIBILITY CODE.
- 9. SIDES OF CURB RAMPS SHALL BE PROVIDED PER THE REQUIREMENT OF RULE 120-3-20-18(15), GEORGIA ACCESSIBILITY CODE.
- 10. SIGNAGE SHALL BE PROVIDED PER THE ATTACHED DETAIL. "VAN ACCESSIBLE" SHALL BE REQUIRED IMMEDIATELY BELOW THE STANDARD SIGN FOR VAN ACCESSIBLE SPACES. SIGNS FOR AUTOMOBILE ACCESSIBLE SPACES SHALL BE MINIMUM OF 60 INCHES TO THE BOTTOM OF THE SIGN ABOVE FINISHED GRADE. SIGNAGE FOR VAN ACCESSIBLE SPACES SHALL BE A MINIMUM OF 84 INCHES FROM THE BOTTOM OF THE SIGN FROM FINISHED GRADE, RULE 120-3-20-17(4), GEORGIA ACCESSIBILITY CODE.
- 11. ALL ACCESSIBLE ROUTES WITH RUNNING SLOPES GREATER THAN 1:20 IS A RAMP AND SHALL COMPLY WITH RULE 120-3-20-19. CROSS SLOPE SHALL NOT EXCEED 1:50, RULE 120-3-20-14(7), GEORGIA ACCESSIBILITY CODE.
- 12. ALL CURB RAMPS SHALL HAVE A DETECTABLE WARNING COMPLYING WITH RULE 120-3-20-40. THE DETECTABLE WARNING SHALL EXTEND THE FULL WIDTH AND DEPTH OF THE CURB RAMP INCLUDING FLARES, RULE 120-3-20-18(7), GEORGIA ACCESSIBILITY CODE.
- 13. THE MINIMUM CLEAR WIDTH OF AN ACCESSIBLE ROUTE SHALL BE 36 INCHES EXCEPT AT DOORS. IF A PERSON IN A WHEELCHAIR MUST MAKE A TURN AROUND DUE TO AN OBSTRUCTION, THE MINIMUM CLEAR WIDTH OF THE ACCESSIBLE ROUTE SHALL COMPLY WITH RULE 120-3-20-14(3), FIG. (7) A AND B, GEORGIA ACCESSIBILITY CODE.
- 14. WATER MAIN LOCATION AND SIZES ARE TO BE SHOWN ON PLAN.
- 15. ENTRANCES TO THE BUILDING IN NEW CONSTRUCTION SHALL BE PROVIDED PER THE REQUIREMENTS OF RULE 120-3-20-.08, (8) (A THRU D). ACCESSIBLE ENTRANCES MUST BE PROVIDED IN A NUMBER AT LEAST EQUIVALENT TO THE NUMBER OF EXITS REQUIRED BY THE APPLICABLE BUILDING/FIRE CODES. (THIS PARAGRAPH DOES NOT REQUIRE AN INCREASE IN THE TOTAL NUMBER OF ENTRANCES PLANNED FOR A FACILITY). GEORGIA ACCESSIBILITY CODE.
- 16. MARKING AND SIGNAGE OF FIRE LANES SHALL BE PROVIDED PER THE REQUIREMENTS OF INTERNATIONAL FIRE CODE 2000 EDITION SECTION 503.3 AND GWINNETT COUNTY FIRE MARSHAL'S GENERAL ORDER ISSUED NOVEMBER 1, 1996 (SEE ATTACHED DETAILS).
- 17. DURING CONSTRUCTION AND FOR PERMANENT ACCESS, ROADWAYS CONSTRUCTED OF AN ALL WEATHER SURFACE CAPABLE OF SUPPORTING 75,000 POUNDS GROSS WEIGHT SHALL BE PROVIDED PER INTERNATIONAL FIRE CODE, 2000 EDITION SECTION 503.3.
- 18. CURB RAMPS SHALL BE LOCATED OR PROTECTED TO PREVENT THEIR OBSTRUCTION BY PARKED VEHICLES. RULE 120-3-20-.18(8). GEORGIA ACCESSIBILITY CODE
- 19. FIRE LANES SHALL BE AT LEAST 20 FT IN WIDTH WITH THE ROAD EDGE CLOSEST TO THE STRUCTURE A MINIMUM OF 10 FT FROM THE STRUCTURE. **GWINNETT COUNTY** GENERAL ORDER ISSUED NOVEMBER 1, 1996.
- 20. DURING CONSTRUCTION AND FOR PERMANENT ACCESS, ROADWAYS WIDTH SHALL BE 20 FT MINIMUM PER INTERNATIONAL FIRE CODE, 2000 EDITION SECTION
- 21. FIREWALL REQUIRED AT A MAXIMUM OF EVERY 12,000 S.F.
- 22. PLANS FOR RETAIL SELF-SERVICE GASOLINE OPERATIONS SHALL BE REVIEWED AND PERMITTED BY THE GEORGIA STATE FIRE MARSHAL'S OFFICE HAZARDOUS MATERIAL SECTION AND A COPY OF THE APPROVALS SHALL BE PROVIDED BEFORE FINAL CERTIFICATE OF OCCUPANCY IS ISSUED.

STORMWATER NOTES:

- THERE IS NO FLOODPLAIN ON THIS PROPERTY FROM A WATER COURSE WITH A DRAINAGE AREA EXCEEDING 100 ACRES OR FLOODPLAIN PER FIRM PANEL 13135C0119F, DATED SEPT. 29, 2006.
- 2. THERE ARE NO WETLANDS BEING DISTURBED ON THIS SITE.
- 3. STORMWATER MANAGEMENT TO BE PROVIDED ON-SITE (NOT REQUIRED).
- 4. THERE ARE NO STREAM BUFFERS ON THIS PROPERTY.
- 5. WETLAND CERTIFICATION: THE DESIGN PROFESSIONAL, WHOSE SEAL APPEARS HEREON, CERTIFIES THE FOLLOWING:

 1) THE NATIONAL WETLAND INVENTORY MAPS HAVE BEEN CONSULTED; AND, 2) THE APPROPRIATE PLAN SHEET [

] DOES / [X] DOES NOT (CIRCLE APPROPRIATE BOX) INDICATE AREAS OF UNITED STATES ARMY CORPS OF ENGINEERS JURISDICTIONAL WETLANDS AS SHOWN ON THE MAPS; AND, 3) IF WETLANDS ARE INDICATED, THE LAND OWNER OR DEVELOPER HAS BEEN ADVISED THAT LAND DISTURBANCE OF PROTECTED WETLANDS SHALL NOT OCCUR UNLESS THE APPROPRIATE FEDERAL WETLANDS ALTERATION ("SECTION 404") PERMIT HAS BEEN OBTAINED.
- 6. COMMERCIAL CITY OF GRAYSON ASSUMES NO RESPONSIBILITY FOR OVERFLOW OR EROSION OF NATURAL OR ARTIFICIAL DRAINS BEYOND THE EXTENT OF THE STREET RIGHT—OF—WAY, OR FOR THE EXTENSION OF CULVERTS BEYOND THE POINT SHOWN ON THE APPROVED AND RECORDED PLAN. CITY OF GRAYSON DOES NOT ASSUME THE RESPONSIBILITY FOR THE MAINTENANCE OF PIPES IN DRAINAGE EASEMENTS BEYOND THE COUNTY RIGHT—OF—WAY.
- 7. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNERS OF THE STORMWATER MANAGEMENT FACILITY TO KEEP THE ACCESS DRIVE FREE OF OBSTRUCTIONS AND TO MAINTAIN THE FACILITY FREE OF OBSTRUCTIONS, SILT AND DEBRIS, AND OPERATIONAL PURSUANT TO COUNTY REQUIREMENTS.
- 8. SOURCE OF TOPOGRAPHY IS SURVEY BY **ROBBINS LAND SURVEYING, DATED MAY 19, 2021.**Datum: Gwinnett Co. Gis
- 9. MAXIMUM SLOPE FOR CUT OR FILL IS 2H:1V EXCEPT EARTHEN DAM EMBANKMENTS SHALL BE 3H:1V.
- 10. DETENTION POND, DETENTION OUTLET STRUCTURES AND TEMPORARY SEDIMENT POND FEATURES ARE TO BE CONSTRUCTED AND FULLY OPERATIONAL PRIOR TO ANY OTHER CONSTRUCTION OR GRADING.
- 11. DEVELOPER IS TO CLEAN OUT ACCUMULATED SILT IN DETENTION POND AT END OF CONSTRUCTION WHEN DISTURBED AREAS HAVE BEEN STABILIZED.
- 12. PROVIDE DETENTION POND POST-CONSTRUCTION (RECORD) DRAWINGS WITH THE SUBMITTAL OF THE FINAL PLAT AT LEAST TWO WEEKS PRIOR TO REQUESTING A CERTIFICATE OF OCCUPANCY SO THAT THE POST-CONSTRUCTION CONDITIONS MAY BE VERIFIED AND APPROVED. CERTIFIED RECORD DRAWINGS SHALL INCLUDE TOPOGRAPHY OF POND AND OUTLET STRUCTURE DETAIL USING POST-CONSTRUCTION SURVEY DATA. USING RECORD DRAWINGS, PROVIDE A CERTIFIED HYDROLOGY REPORT VERIFYING POND VOLUMES AND PEAK OUTFLOWS FROM REGULATED STORM EVENTS.
- 13. ACCESS EASEMENT TO BE CLEARED AND GRUBBED.
- 14. HDPE PIPE SHALL CONFORM TO THE REQUIREMENTS OF AASHTO M-294 AND AASHTO MP7, TYPE S & D. CONNECTIONS SHALL USE A RUBBER GASKET, WHICH CONFORMS TO ASTM F-477. INSTALLATION SHALL BE IN ACCORDANCE WITH ASTM RECOMMENDED PRACTICE D-2321, AASHTO SECTION 30, OR WITH SECTION 550 OF THE GEORGIA DOT STANDARD SPECIFICATIONS, CONSTRUCTION OF ROADS AND BRIDGES.
- 15. ALL RCP PIPE JOINTS SHALL BE BELL & SPIGOT TYPES WITH A RUBBER GASKET CONFORMING TO ASTM C-443.

 THE PIPE SHALL BE MANUFACTURED IN ACCORDANCE WITH AASHTO M-170 AND/OR ASTM C-76. CLASS OF PIPE AND WALL THICKNESS SHALL BE IN ACCORDANCE WITH 1030-D, GEORGIA DOT SPECIFICATION, TABLE NO. 1. INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 550 OF THE GEORGIA DOT STANDARD SPECIFICATIONS, CONSTRUCTION OF ROADS AND BRIDGES.
- 16. THE RECEIVING WATER(S) IS: <u>UN-NAMED TRIBUTARY OF BRUSHY FORK</u>

EROSION CONTROL NOTES:

- 1. SILT BARRIERS TO BE PLACED AS SHOWN AND/OR AS DIRECTED BY THE <u>CITY OF GRAYSON</u> INSPECTOR.
- 2. ALL SILT BARRIERS MUST BE IN PLACE AS ACCESS IS OBTAINED DURING CLEARING. NO GRADING SHALL BE DONE UNTIL SILT BARRIER INSTALLATION IS COMPLETED.
- 3. THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES AROUND THE WORK AND SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE AND EROSION.
- 4. EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL BE MAINTAINED AT ALL TIMES.
 ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.
- 5. ALL DISTURBED AREAS TO BE GRASSED AS SOON AS CONSTRUCTION PHASES PERMIT.
- 6. ALL DESIGNS WILL CONFORM TO AND ALL WORK WILL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE PUBLICATION ENTITLED "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" (LATEST EDITION, 2016).
- 7. THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.
- 8. SEDIMENT STORAGE MAINTENANCE INDICATORS MUST BE INSTALLED IN SEDIMENT STORAGE STRUCTURES, INDICATING THE 1/3 FULL VOLUME.
- 9. MAINTENANCE OF ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL BE AT ALL TIMES THE RESPONSIBILITY OF THE PROPERTY OWNER.
- 10. DEVELOPER TO CLEAN OUT ACCUMULATED SILT IN DETENTION POND AT END OF CONSTRUCTION WHEN DISTURBED AREAS HAVE BEEN STABILIZED.
- 13. PROVIDE DETENTION POND POST-CONSTRUCTION (RECORD) DRAWINGS WITH THE SUBMITTAL OF THE FINAL PLAT AT LEAST TWO WEEKS PRIOR TO REQUESTING A CERTIFICATE OF OCCUPANCY SO THAT THE POST-CONSTRUCTION CONDITIONS MAY BE VERIFIED AND APPROVED. CERTIFIED RECORD DRAWINGS SHALL INCLUDE TOPOGRAPHY OF POND AND OUTLET STRUCTURE DETAIL USING POST-CONSTRUCTION SURVEY DATA. USING RECORD DRAWINGS, PROVIDE A CERTIFIED HYDROLOGY REPORT VERIFYING POND VOLUMES AND PEAK OUTFLOWS FROM REGULATED
- 14. THE SOIL EROSION AND SEDIMENT CONTROL ORDINANCE REQUIRES THAT A 25 FOOT BUFFER ADJACENT TO ALL STATE WATERS BE MAINTAINED (ARTICLE 4, SECTION 4.3, PARAGRAPH 15). EXCEPTION IS GRANTED TO HOMEOWNERS WHO PERFORM MINOR LAND DISTURBING ACTIVITIES SUCH AS HOME LANDSCAPING, HOME GARDENS, REPAIRS AND MAINTENANCE WORK (ARTICLE 3, SECTION 3.1, PARAGRAPH 3).
- 15. WETLAND CERTIFICATION: THE DESIGN PROFESSIONAL, WHOSE SEAL APPEARS HEREON, CERTIFIES THE FOLLOWING:

 1) THE NATIONAL WETLAND INVENTORY MAPS HAVE BEEN CONSULTED, 2) THE APPROPRIATE PLAN SHEET []

 DOES / [X] DOES NOT (CIRCLE APPROPRIATE BOX) INDICATE AREAS OF UNITED STATES ARMY CORPS OF

 ENGINEERS JURISDICTIONAL WETLANDS AS SHOWN ON THE MAPS, AND 3) IF WETLANDS ARE INDICATED, THE LAND

 OWNER OR DEVELOPER HAS BEEN ADVISED THAT LAND DISTURBANCE OF PROTECTED WETLANDS SHALL NOT

 OCCUR UNLESS THE APPROPRIATE FEDERAL WETLANDS ALTERATION ("SECTION 404") PERMIT HAS BEEN OBTAINED.
- 16. <u>GWINNETT COUNTY</u> ASSUMES NO RESPONSIBILITY FOR OVER-FLOW OR EROSION OF NATURAL OR ARTIFICIAL DRAINS BEYOND THE EXTENT OF THE STREET RIGHT-OF-WAY, OR FOR THE EXTENSION OF CULVERTS BEYOND THE POINT SHOWN ON THE APPROVED AND RECORDED PLAN. <u>GWINNETT COUNTY</u> DOES NOT ASSUME THE RESPONSIBILITY FOR THE MAINTENANCE OF PIPES IN DRAINAGE EASEMENTS BEYOND THE COUNTY RIGHT-OF-WAY.
- 17. APPROVAL OF THESE PLANS DOES NOT CONSTITUTE APPROVAL BY <u>GWINNETT COUNTY</u> OF ANY LAND DISTURBING ACTIVITIES WITHIN WETLAND AREAS. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO CONTACT THE APPROPRIATE REGULATORY AGENCY FOR APPROVAL OF ANY WETLAND AREA DISTURBANCE.
- 18. PROTECTIVE TREE FENCING, STAKING OR CONTINUOUS RIBBON SHALL BE INSTALLED BETWEEN TREE PROTECTION AREAS AND AREAS PROPOSED TO BE GRADED OR OTHERWISE DISTURBED ON THE SITE, PRIOR TO ANY LAND DISTURBANCE. LAND DISTURBANCE TO BE LIMITED TO THOSE AREAS NEEDED FOR STREETS, PARKING, DRAINAGE, AND UTILITIES.
- 19. THE EXTENT AND LOCATION OF EROSION CONTROL MEASURES SHOWN (SHEET) ARE THE ESTIMATED REQUIRED. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DUE TO ACTUAL FIELD CONDITIONS, AND WILL BE INSTALLED AT THE OWNER/DEVELOPERS EXPENSE WHEN DIRECTED BY THE PROPER GOVERNING AUTHORITY.

E.C. PROJECT NARRATIVE:

BRITT STREET SPUR 2132 BRITT STREET PARCEL ID: 5135A065 CITY OF GRAYSON, GEORGIA

THE EXISTING SITE HAS BUILDINGS, ROADS, AND PARKING. THE TOTAL AREA OF THE SITE IS 4.13 AC. ACRES WITH APPROXIMATELY 0.40 ACRES OF DISTURBANCE ON—SITE.

THE ZONING OF THE SUBJECT IS PUD. THE ADJACENT PROPERTIES ARE ALSO ZONED PUD.

THE EXISTING SITE TOPOGRAPHY VARIES WITH A GRADIENT OF 2-5 PERCENT THROUGHOUT THE PROPERTY. THERE ARE NO STATE WATERS ON-SITE. THERE ARE NO WETLANDS ON-SITE.

WE HAVE DESIGNED VARIOUS EROSION CONTROL MEASURES AT EACH OF THE LOCATIONS WHERE STORMWATER RUN-OFF HAS BEEN DIRECTED OR NATURALLY LEAVES THE PROPERTY. SILT FENCE BARRIERS ARE TO BE INSTALLED AT THE TOE OF ALL FILL SLOPES ON THE DOWNSTREAM SIDE AROUND THE PERIMETER OF THE PLANNED LAND DISTURBANCE. DISTURBED AREAS OF THE SITE ARE TO BE STABILIZED AND GRASSED AS SOON AS CONSTRUCTION PHASES PERMIT.

THE SITE WORK CONSTRUCTION IS TO BE COMPLETED IN STRICT ACCORDANCE WITH THE "MANUAL FOR EROSION AND SEDIMENTATION CONTROL IN GEORGIA". PERMANENT STABILIZATION WILL BE ACCOMPLISHED BY PLANTING COMMON BERMUDA. PERMANENT STABILIZATION IS TO BE ACHIEVED IN ACCORDANCE WITH CHAPTER 6, SECTION III "VEGETATIVE PRACTICES" OF THE MANUAL FOR EROSION AND SEDIMENTATION CONTROL IN GEORGIA. EROSION CONTROL DEVICES WILL BE ROUTINELY INSPECTED AND MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.

ALL EROSION CONTROL DEVICES SHALL BE CLEANED OUT BEFORE ACHIEVING A LEVEL OF 1/3 FULL.

LEVEL II CERTIFIED DESIGN PROFESSIONAL



GEORGIA SOIL AND WATER CONSERVATION COMMISSION

ROBERT A. CONE, R.L.A.

CERTIFICATION NUMBER: 0000039604

EXPIRES: 05/21/2026



P.O. Box 187 Tiger, GA 30576 (o) 678.725.4631 (e) landsolutionassociates@gmail.com

OWNER/DEVELOPER:

GRAY RAIL, LLC

3343 BEECH HOLLOW COURT

LOGANVILLE, GA 30052 24-HR CONTACT: JOHN LANGE 404-731-7811 lange.john@comcast.net

> LAND LOT 135 - 5th DISTRICT PARCEL ID: 5135A065 GRAYSON (GWINNETT CO.), GEOR

SIGNED / SEALED

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No. REVISION

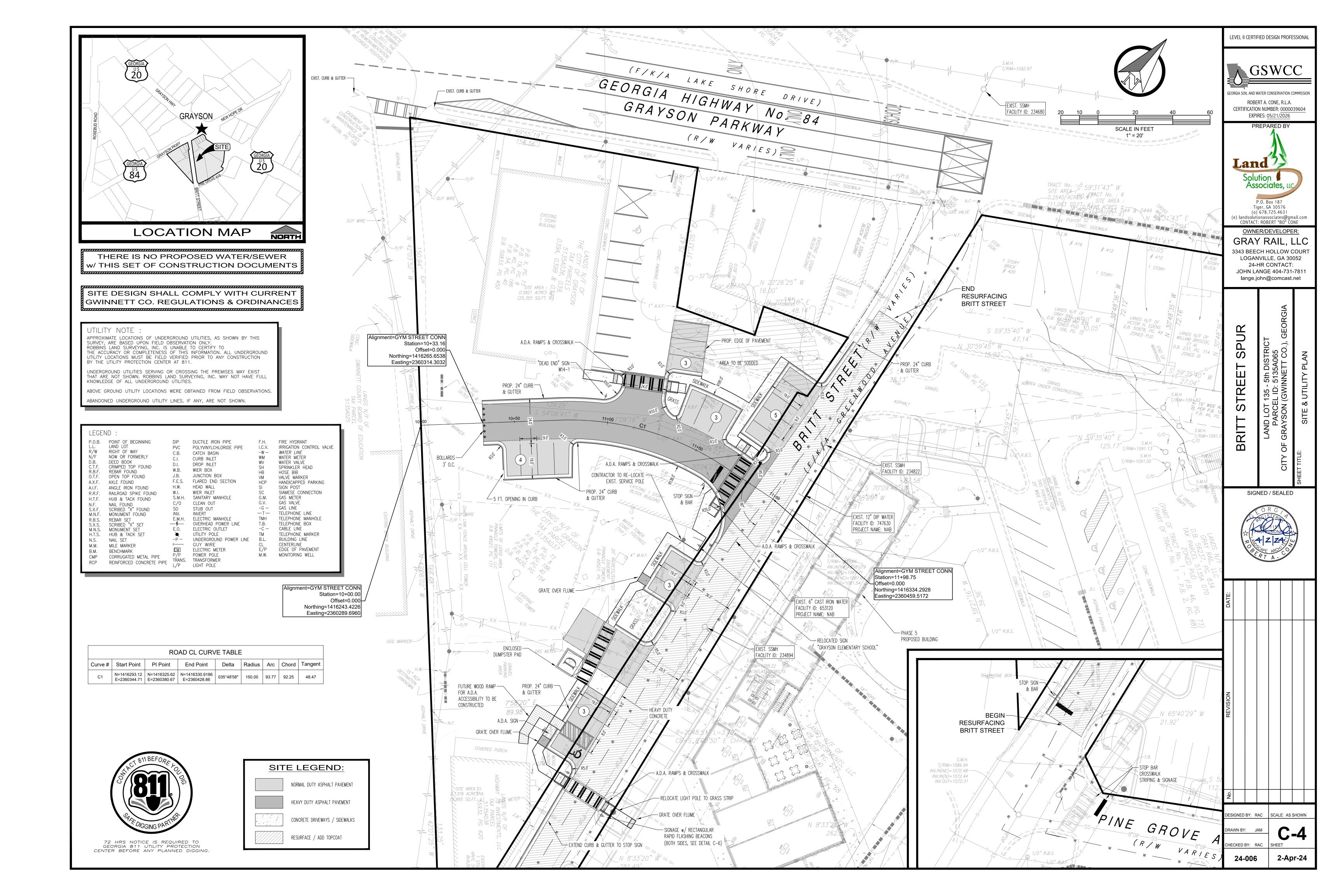
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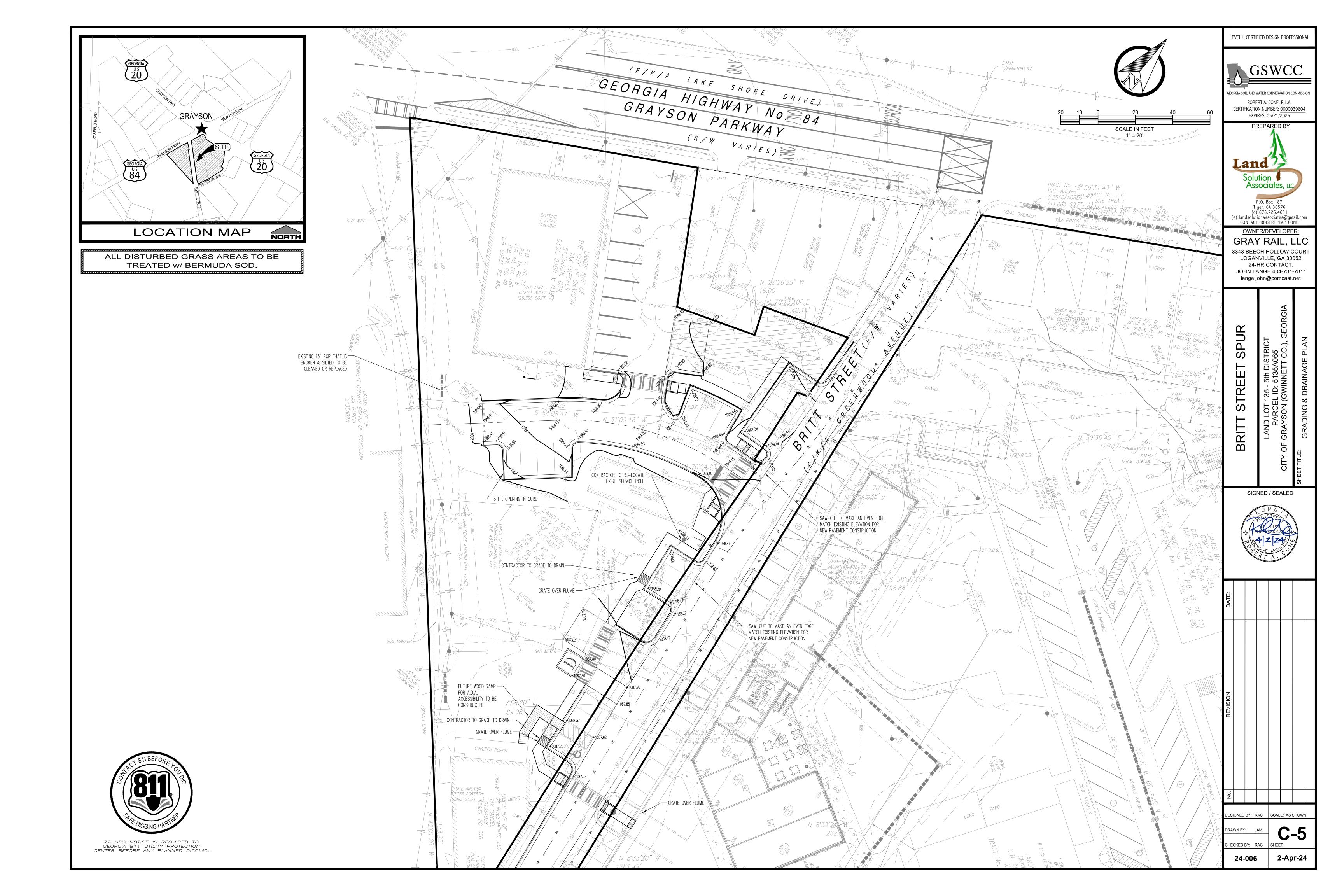
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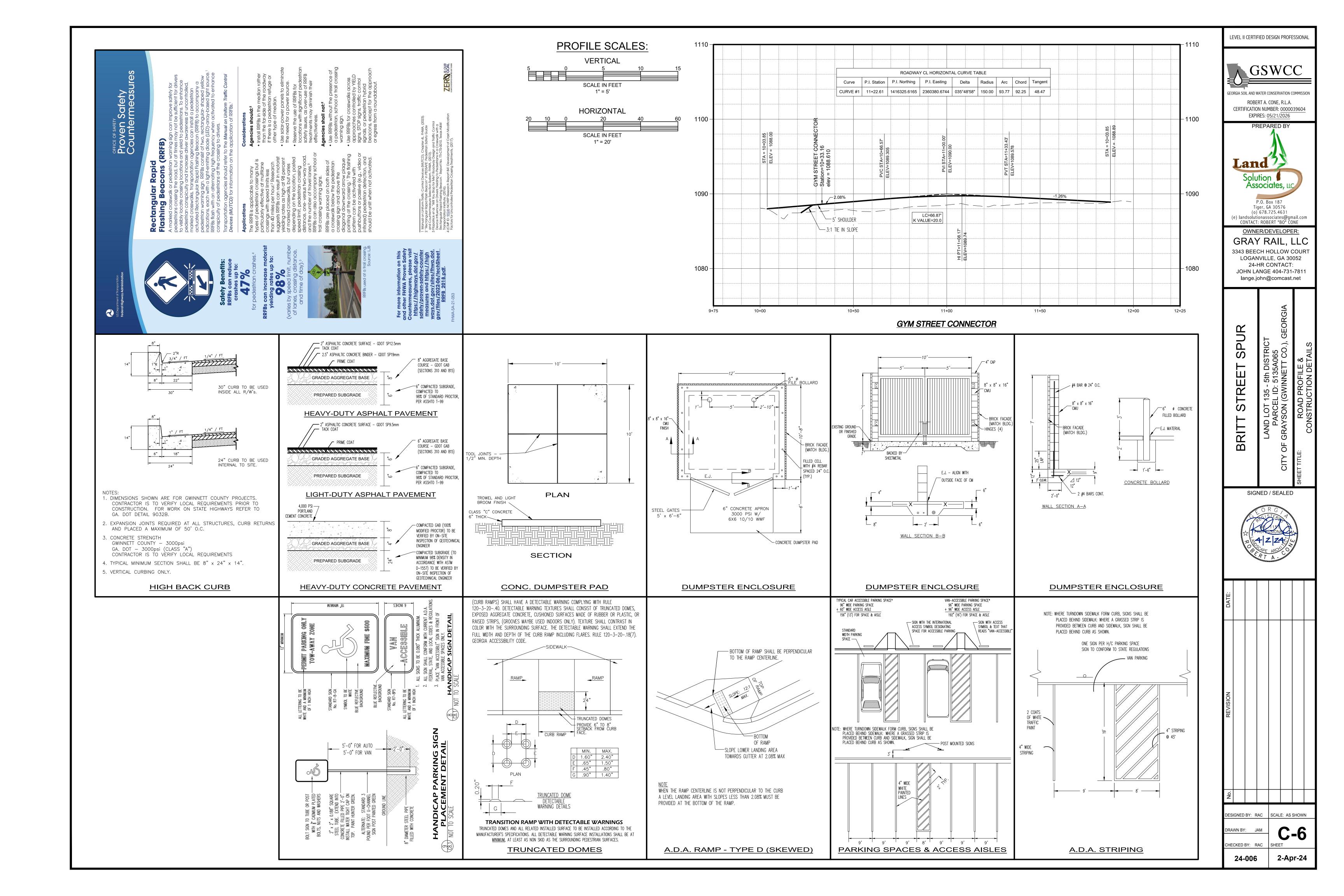
DRAWN BY: JAM

CHECKED BY: RAC

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THE NOTES AND REQUIREMENTS STATED ON THESE PLANS REFERENCE THE "STATE OF GEORGIA DEPARTMENT OF NATURAL RESOURCES ENVIRONMENTAL PROTECTION DIVISION GENERAL PERMIT NO. GAR 100001" EFFECTIVE AUGUST 1, 2018. THIS PLAN DOES NOT CONTAIN ALL OF THE REQUIREMENTS CONTAINED WITHIN THE PERMIT. THE OWNER SHALL CONSULT THE PERMIT FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

<u>SITE DESCRIPTION</u>

DESCRIPTION AND NATURE OF THE CONSTRUCTION ACTIVITY: THE PROPOSED PROJECT IS THE 5,005 S.F. CONVENIENCE STORE WITH FUEL PUMPS, PARKING LOT, AND UTILITIES.

- 2. THE PROPOSED BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE ACTIVITY SCHEDULE SHOWN AND THE SEQUENCES OF THE PHASED EROSION, SEDIMENT AND POLLUTION CONTROL PLANS PROVIDED
- TOTAL SITE AREA: 4.13 AC. ACRES DISTURBED AREA: 0.40 ACRES
- 4. THE INITIAL RECEIVING WATERS FOR THE SITE IS AN UN-NAMED TRIBUTARY OF BRUSHY FORK.
- 5. APPLICABLE PORTIONS OF THE ES&PC PLAN ARE TO BE PROVIDED TO EACH SECONDARY PERMITTEE PRIOR TO THE SECONDARY PERMITTEE CONDUCTING ANY CONSTRUCTION ACTIVITY. EACH SECONDARY PERMITTEE SHALL SIGN THE PLAN OR PORTION OF THE PLAN APPLICABLE TO

KNOWN SECONDARY PERMITTEES ARE AS FOLLOWS (FOR COMMON DEVELOPMENT ONLY):

<u>ADDRESS</u>

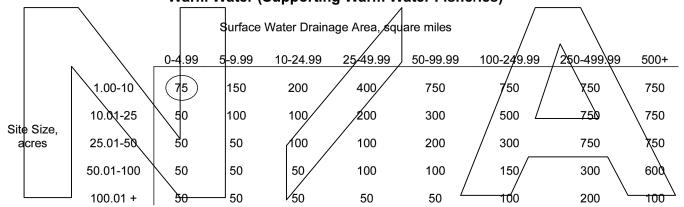
(THIS PLAN SHALL BE UPDATED AS APPROPRIATE AS SECONDARY PERMITTEES ARE DETERMINED. IT IS THE RESPONSIBILITY OF THE OWNER TO NOTIFY THE DESIGN PROFESSIONAL AS SECONDARY PERMITTEES ARE DETEMINED.)

SURFACE WATER DRAINAGE AREA: < 4.99 SQ MI WARM WATER RECEIVING WATER TYPE: NTU LIMIT VALUE SELECTED FROM APPENDIX B:

METHOD SELECTED: OUTFALL (MASTER DETENTION POND)

URBIDITY OF THE RECEIVING STREAM SHOULD NOT INCREASE MORE THAN 75 NTU. THE RECEIVING WATERS IS A WARM WATER STREAM.

Warm Water (Supporting Warm Water Fisheries)



<u>POLLUTION CONTROL NOTES:</u>

- OPERATIONS SHALL BE KEPT TO A MINIMUM; PHASE IF POSSIBLE. SHALL NOT ENDANGER ADJOINING PROPERTIES.
- 3. FILL SHALL NOT ENCROACH UPON NATURAL WATERCOURSES. CHANNELS SHALL NOT BE CONSTRUCTED IN A MANNER SO AS TO ADVERSELY AFFECT OTHER PROPERTY OWNERS.
- 4. MINIMIZING DAMAGE FROM SURFACE WATER TO THE CUT FACE OF EXCAVATIONS OR THE SLOPING SURFACES OF FILL B. STATE WATER BANKS
- ACTIVITIES SHALL NOT BE CONDUCTED WITHIN TWENTY-FIVE (25) FEET OF THE BANKS OF ANY STATE WATERS, AS MEASURED FROM THE POINT WHERE VEGETATION HAS BEEN WRESTED BY NORMAL STREAM FLOW OR WAVE ACTION, EXCEPT WHEN APPROVED BY THE DIRECTOR FOR ALTERNATE BUFFER REQUIREMENTS
- 2. ACTIVITIES SHALL NOT BE CONDUCTED WITHIN FIFTY (50) HORIZONTAL FEET, AS MEASURED FROM THE POINT WHERE VEGETATION HAS BEEN WRESTED BY NORMAL STREAM FLOW OR WAVE ACTION FLOW, OF THE BANKS OF ANY STATE WATERS CLASSIFIED AS "TROUT STREAMS", UNLESS APPROVED BY THE DIRECTOR FOR ALTERNATE BUFFER REQUIREMENTS.
- C. STABILIZATION PRACTICES VEHICLE AREAS - FILL IN RILL ERODED AREAS WHEN FOUND. MAINTAIN CONSTRUCTION EXITS AND CONSTRUCTION ROADS.
- TEMPORARY SEEDING WHEN AN AREA WILL BE LEFT OPEN MORE THAN 14 DAYS WITH NO CONSTRUCTION. SOD STABILIZATION - USED IN HIGHER VELOCITY CHANNEL FLOWS.
- PERMANENT VEGETATION THIS IS TO BE ESTABLISHED ONCE FINAL GRADE IS ACHIEVED. 5. SURFACE ROUGHENING - TEXTURING OF SOIL SURFACES TO REDUCE SHEET FLOW AND IMPROVE SURFACE WATER IMPOUNDMENT.
- SEDIMENT BASINS SHALL BE INSPECTED TO INSURE STABLE SIDE SLOPES. STRUCTURAL CONTROLS TO BE USED-SILT FENCE, INLET PROTECTION, CHECK DAMS, AND DETENTION PONDS. . DEVELOPMENT OF PLANS ARE TO CONFORM TO TOPOGRAPHY AND SOIL TYPE.
- F. OTHER CONTROLS
- 1 OFF-SITE VEHICLE TRACKING A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREETS ADJACENT TO THE SITE WILL BE SWEPT AND SCRAPED REGULARLY TO REMOVE ANY EXCESS MUD, DIRT, OR ROCK TRACKED FROM THE CONSTRUCTION AREA. A SOURCE OF FRESH WATER FOR WASHING SEDIMENT FROM TRUCKS. ESPECIALLY DURING PERIODS OF WET WEATHER. MAY BE PROVIDED IN ORDER TO MINIMIZE THE AMOUNT OF STREET SWEEPING AND SCRAPING REQUIRED. ANY WASTEWATER RESULTING FROM
- THE OPERATION WILL BE DIRECTED INTO A SEDIMENT TRAP. . WASTE MATERIALS ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE HAULED TO AN APPROVED LANDFILL. NO CONSTRUCTION WASTE MATERIAL WILL BE BURNED ON-SITE. ALL PERSONNEL WILL RECEIVE INSTRUCTIONS RECARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES DESCRIBING THESE PRACTICES WILL BE POSTED IN THE CONSTRUCTION OFFICE. THE SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED. EMPLOYEE WASTE AND OTHER LOOSE MATERIALS WILL BE COLLECTED SO AS TO PREVENT THE RELEASE OF "FLOATABLES" DURING RUNOFF EVENTS. NO WASTE MATERIALS SHALL BE DUMPED INTO ANY ADJANENT STATE WATER, EXOEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
- HAZARDOUS WASTE NO HAZARDOUS WASTE IS EXPLICTED TO LE GENERATED OR ENCOUNTEBED IN THIS PROJECT. IN THE EVENT THAT HAZARDOUS WASTE IS ENCOUNTERED, ALNHAZARDOÙS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY T∯E MANUFACTURER. THE SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.
- THE ESPCP SHALL INCORPORATE AND ADHERE TO ALL COUNTY AND STATE WASTE DISPOSAL AND SANITARY SEWER SYSTEM REGULATIONS.

 ANY PORTABLE SANITARY UNITS SHALL BE LOCATED AWAY FROM STORM DRAIN INLETS. A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR SHALL REGULARLY COLLECT ALL SANITARY WASTE FROM UNITS.
- GRADING EQUIPMENT SHALL CROSS-FLOWING STREAMS BY THE MEANS OF BRIDGES OR CULVERTS, EXCEPT WHEN SUCH METHODS ARE NOT FEASIBLE, PROVIDED IN ANY CASE THAT SUCH CROSSINGS SHOULD BE KEPT TO A MINIMUM.
- DUST CONTROL DURING GRADING OPERATIONS (IF APPLICABLE), PERIODICALLY APPLY MOISTURE SPRAY TO LARGE AREAS FOR DUST CONTROL.

- 1. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO REQUEST SITE INSPECTION OF EROSION CONTROL PRACTICES BY THE ENGINEER WITHIN (7) SEVEN DAYS AFTER INSTALLATION.
- 2. ANY ON-SITE CHEMICALS OR PETROLEUM PRODUCTS ARE TO BE STORED IN AN ENVIRONMENTALLY SAFE CONTAINER TO AVOID LEAKS OR SPILLS THAT COULD LEAD TO CONTAMINATION OF CREEKS OR STREAMS.
- 3. CONCRETE TRUCKS ARE TO BE PROVIDED WITH A SEPARATE WASHOUT AREA TO AVOID DRAINAGE INTO THE STORM
- 4. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO COMPLY WITH ALL CONDITIONS WITHIN THE NPDES PERMIT GAR
- 5. DEVELOPER MUST SUBMIT NOI TO EPD AND ESTABLISH SAMPLING OF STORMWATER OUTFALL POINTS IN ACCORDANCE WITH GAR 100001.
- 6. SOLID MATERIALS, INCLUDING BUILDING MATERIALS, SHALL NOT BE DISCHARGED TO WATER OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT. (NPDES IV.D.2.c.(1))
- 7. WASTE WATER DISPOSAL, SANITARY SEWER OR SEPTIC SYSTEMS MUST BE IN COMPLIANCE WITH APPLICABLE STATE AND LOCAL REGULATIONS. (NPDES IV.D.2.c.(3))

WASTE MATERIALS:

WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.

A MASTER DETENTION POND FACILITATES THE EXCESS STORMWATER RUNOFF GENERATED BY THE DEVELOPMENT OF

PRE-DEVELOPED CN=61 POST-DEVELOPED CN=87.5 (71.4% IMPERVIOUS)

BMPS WILL BE IMPLEMENTED AND CONSTRUCTED IN ACCORDANCE WITH THE PHASED EROSION, SEDIMENT, AND POLLUTION CONTROL PLANS AND ACTIVITY SCHEDULE PROVIDED.

STABILIZATION MEASURES

THE FOLLOWING SITE STABILIZATION MEASURES WILL BE UTILIZED AS INDICATED ON THE EROSION, SEDIMENT, AND POLLUTION CONTROL PLANS: TEMPORARY MULCHING, TEMPORARY, AND PERMANENT SEEDING. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.

THE FOLLOWING STRUCTURAL PRACTICES WILL BE UTILIZED AS INDICATED ON THE EROSION, SEDIMENT, AND POLLUTION CONTROL PLANS: SILT FENCE, TEMPORARY SEDIMENT TRAPS AT INLETS, AND RETROFIT AT DETENTION POND. STORM WATER MANAGEMENT

THE PROPOSED DETENTION POND WILL REGULATED POST-DEVELOPED FLOWS TO LESS THAN PRE-DEVELOPED FLOWS.

ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE DEPOSITED IN A DUMPSTER. THE DUMPSTER SHALL BE EMPTIED WHEN FULL. NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ONSITE. ALL PERSONNEL SHALL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. ALL WASTE DISPOSAL PRACTICES SHALL BE CONDUCTED IN ACCORDANCE WITH STATE AND/OR LOCAL WASTE DISPOSAL REGULATIONS.

NO BUILDING OR CONSTRUCTION MATERIALS WILL BE BURIED OR DISPOSED OF ON-SITE. ALL SUCH MATERIAL WILL BE DISPOSED OF IN PROPER WASTE DISPOSAL PROCEDURES.

HAZARDOUS PRODUCTS USED ON-SITE SHALL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RE-SEALABLE. ORIGINAL LABELS AND MATERIAL SAFETY DATA SHEETS (MSDSS) SHALL BE RETAINED ON SITE. SURPLUS HAZARDOUS PRODUCTS SHALL BE DISPOSED OF ACCORDING TO LOCAL STATE. AND FEDERAL GUIDELINES ALL HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL SHALL BE INSTRUCTED IN THESE PRACTICES AND THE PROJECT SUPERINTENDENT, THE INDIVIDUAL WHO MANAGES DAY-TO DAY SITE OPERATIONS, SHALL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED. MATERIAL SAFETY DATA SHEETS (MSDS'S) WILL BE POSTED IN THE IMMEDIATE AREA WHERE SUCH PRODUCT IS STORED AND/OR USED AND ANOTHER COPY OF EACH MSDS WILL BE MAINTAINED IN THE ESPCP FILE AT THE JOB SITE CONSTRUCTION TRAILER OFFICE. EACH EMPLOYEE WHO MUST HANDLE A SUBSTANCE WITH HAZARDOUS PROPERTIES WILL BE INSTRUCTED ON THE USE OF MSDS SHEETS AND THE SPECIFIC INFORMATION IN THE APPLICABLE MSDS FOR THE PRODUCT HE/SHE IS USING PARTICULARLY REGARDING SILL

CONTAINERS FOR PRODUCTS SUCH AS FUELS, LUBRICANTS, AND TARS WILL BE INSPECTED DAILY FOR LEAKS AND SPILLS. THIS INCLUDES ONSITE VEHICLES AND MACHINERY DAILY INSPECTIONS AND REGULAR PREVENTATIVE MAINTENANCE OF SUCH EQUIPMENT. EQUIPMENT MAINTENANCE AREAS WILL BE LOCATED AWAY FROM STATE WATERS, NATURAL DRAINS, AND STORM WATER DRAINAGE INLETS. IN ADDITION, TEMPORARY FUELING TANKS SHALL HAVE A SECONDARY CONTAINMENT LINER TO PREVENT/MINIMIZE SITE CONTAMINATION. DISCHARGE OF OILS, FUELS, AND LUBRICANTS IS PROHIBITED. PROPER DISPOSAL METHODS WILL INCLUDE COLLECTION IN A SUITABLE CONTAINER AND DISPOSAL AS REQUIRED BY LOCAL AND STATE REGULATIONS.

ALL PRODUCTS WILL BE STORED IN TIGHTLY SEALED ORIGINAL CONTAINERS WHEN NOT IN USE. EXCESS PRODUCT WILL NOT BE DISCHARGED TO THE STORM WATER COLLECTION SYSTEM. EXCESS PRODUCT, MATERIALS USED WITH THESE PRODUCTS AND PRODUCT CONTAINERS WILL BE DISPOSED OF ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND

NO CONCRETE TRUCKS WILL BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER

THESE PRODUCTS WILL BE APPLIED AT RATES THAT DO NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS OR ABOVE THE GUIDELINES SET FORTH IN THE CROP ESTABLISHMENT OR IN THE GSWCC MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA. ANY STORAGE OF THESE MATERIALS WILL BE UNDER ROOF IN SEALED CONTAINERS.

SANITARY WASTE GENERATED FROM PORTABLE UNITS SHALL BE EMPTIED AS REQUIRED TO PROVIDE FOR SANITARY CONDITIONS. ALL SANITARY WASTE DISPOSAL PRACTICES SHALL BE CONDUCTED IN ACCORDANCE WITH STATE AND/OR LOCAL WASTE DISPOSAL REGULATIONS. A MINIMUM OF ONE PORTABLE SANITARY UNIT WILL BE PROVIDED FOR EVERY TEN (10) WORKERS ON THE SITE. ALL SANITARY WASTER WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONE TIME PER WEEK BY A LICENSED PORTABLE FACILITY PROVIDER IN COMPLETE COMPLIANCE WITH LOCAL AND STATE REGULATIONS.ALL SANITARY WASTE UNITS WILL BE LOCATED IN AN AREA WHERE THE LIKELIHOOD OF THE UNIT CONTRIBUTING TO STORM WATER DISCHARGE IS NEGLIGIBLE. ADDITIONAL CONTAINMENT BMP'S MUST BE IMPLEMENTED, SUCH AS GRAVEL BAGS OR SPECIALLY DESIGNED PLASTIC SKID CONTAINERS AROUND THE BASE, TO PREVENT WASTES FROM CONTRIBUTING TO STORM WATER DISCHARGES. THE LOCATION OF SANITARY WASTE UNITS MUST BE IDENTIFIED ON THE EROSION CONTROL PLAN GRADING PHASE, BY THE CONTRACTOR ONCE THE LOCATIONS HAVE BEEN DETERMINED.

SPILL CLEANUP AND CONTROL PRACTICES

- 1. LOCAL, STATE AND MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND PROCEDURES WILL BE MADE AVAILABLE TO SITE PERSONNEL.
- 2. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE KEPT IN MATERIAL STORAGE AREA ONSITE. (TYPICAL MATERIALS AND EQUIPMENT INCLUDES, BUT IS NOT LIMITED TO, BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, CAT LITTER, SAND, SAWDUST AND PROPERLY LABELED PLASTIC AND METAL WASTE CONTAINERS).
- 3. SPILL PREVENTION PRACTICES AND PROCEDURES WILL BE REVIEWED AFTER A SPILL AND ADJUSTED AS NECESSARY TO PREVENT FUTURE SPILLS.
- 4. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY. SPILLS OF TOXIC OR HAZARDOUS MATERIAL SHALL BE REPORTED TO THE APPROPRIATE FEDERAL, STATE, OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF
- 5. THE SPILL PREVENTION PLAN SHALL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT SPILLS FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEAN UP MEASURES SHALL ALSO BE INCLUDED. THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY OPERATIONS SHALL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR.
- 6. FOR SPILLS THAT IMPACT SURFACE WATER (LEAVE A SHEEN ON SURFACE WATER), THE NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS AT1-800-426-2675.
- 7. FOR SPILLS OF AN UNKNOWN AMOUNT, THE NATIONAL CENTER (NRC) WILL BE CONTACTED WITH 24 HOURS AT
- 8. FOR SPILLS GREATER THAT 25 GALLONS AND NO SURFACE WATER IMPACTS, THE GEORGIA EPD WILL BE CONTACTED WITHIN 24 HOURS.
- 9. FOR SPILLS LESS THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE SPILL WILL BE CLEANED UP AND LOCAL AGENCIES WILL BE CONTACTED AS REQUIRED.

N.P.D.E.S. STORMWATER MONITORING AND THE REGULATIONS OF GAR 100001 DO NOT APPLY TO THIS PROJECT DUE TO THE FACT THAT LESS THAN 1.00 ACRE IS DISTURBED.

(6) ALL PERMITTEES ARE REQUIRED TO MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING TRENCHES AND EXCAVATIONS. DISCHARGES ARE PROHIBITED UNLESS MANAGED BY APPROPRIATE CONTROLS.

a. PERMITTEE REQUIREMENTS.

(1). EACH DAY WHEN ANY TYPE OF CONSTRUCTION ACTIVITY HAS TAKEN PLACE AT A PRIMARY PERMITTEE'S SITE, CERTIFIED PERSONNEL PROVIDED BY THE PRIMARY PERMITTEE SHALL INSPECT: (A) ALL AREAS AT THE PRIMARY PERMITTEE'S SITE WHERE PETROLEUM PRODUCTS ARE STORED, USED, OR HANDLED FOR SPILLS AND LEAKS FROM VEHICLES AND EQUIPMENT AND (B) ALL LOCATIONS AT THE PRIMARY PERMITTEE'S SITE WHERE VEHICLES ENTER OR EXIT THE SITE FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING. THESE INSPECTIONS MUST BE CONDUCTED UNTIL A NOTICE OF

(2). MEASURE RAINFALL ONCE EVERY 24 HOURS EXCEPT ANY NON-WORKING SATURDAY, NON-WORKING SUNDAY AND NON-WORKING FEDERAL HÓLIDAY UNTIL A NOTICE OF TERMINATION IS SUBMITTED. MEASUREMENT OF RAINFALL MÁY BE SUSPENDED IF ALL AREAS OF THE SITE HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE

(3). CERTIFIED PERSONNEL (PROVIDED BY THE PRIMARY PERMITTEE) SHALL INSPECT THE FOLLOWING AT LEAST ONCE EVERY SEVEN (7) CALENDAR PAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES RAINFALL OR GREATER (UNLESS SUCH STORM ENDS AFTER 5:00 PM ON ANY FRIDAY OR ON ANY NON-WORKING SATURDAY, NON-WORKING SUNDAY OR ANY NOM-WORKING FEDERAL HOLIDAY IN/WHICH CASE\THE INSPECTION SHALL BE COMPLETED BY THE END OF THE NEXT BUSINESS DAY AND/OP WORKING DAY, WHICHEVER OCCUPS FIRST): (A) DISTURBED AREAS OF THE PRIMARY PERMITTEE'S CONSTRUCTION SITE ; (B) AREAS USED BY THE PRIMARY PERMITTEE FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION; AND (d) STRUCTURAL CONTROL MEASURES. EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE RLAN APPLICABLE \O THE PRIMARY PERMIT|EE'S SITE SHALL BE OBSERVED TO ENSORE THAT ∕THEY ARE OPERATING CORRECTLY. WHERE DISCHARGE OCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL WEASURES ARE EFFACTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATER(S). FOR AREAS OF A SITE THAT HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION, THE PERMITTEE MUST COMPLY WITH PART V.D.4.A.(4), THESE INSPECTIONS MOST BE CONDUCTED UNTIL A NOTICE OF JERMINATION IS SUBMITTED.

I. CERTIFIED PERSONNEL PROVIDED BY THE PRIMARY PERMITEE) SHALL INSPECT AT LEAST ONCE PER MØNTH DURING<u>. THE TERM OF THI</u>S PERMIT . UNTIL∣A NOTICE OF TERMINATION IS RECEIVED BY EPD) THE AB€AS OF THE SITE THAT HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION! THESE AREAS SHALL BE INSPECTED FOR EVIDENCE OF. OR THE POTENTIAL FOR, POLLUTANTS ENTERING LATE DRAINAGE SYSTEM AND THE RECEIVING WATER(SY). EROSION AND SEDIMENT 🖰 CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATER(S).

(5). BASED ON THE RESULTS OF EACH INSPECTION, THE SITE DESCRIPTION AND THE POLLUTION PREVENTION AND CONTROL MEASURES IDENTIFIED IN THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN. THE PLAN SHALL BE REVISED AS APPROPRIATE NOT LATER THAN SEVEN (7) CALENDAR DAYS FOLLOWING EACH INSPECTION. IMPLEMENTATION OF SUCH CHANGES SHALL BE MADE AS SOON AS PRACTICAL BUT IN NO CASE LATER THAN SEVEN (7) CALENDAR DAYS FOLLOWING EACH INSPECTION.

(6). A REPORT OF EACH INSPECTION THAT INCLUDES THE NAME(S) OF CERTIFIED PERSONNEL MAKING EACH INSPECTION, THE DATE(S) OF EACH INSPECTION, CONSTRUCTION PHASE (I.E., INITIAL, INTERMEDIATE OR FINAL), MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, AND ACTIONS TAKEN IN ACCORDANCE WITH PART IV.D.4.A.(5). OF THE PERMIT SHALL BE MADE AND RETAINED AT THE SITE OR BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION UNTIL THE ENTIRE SITE OR THAT PORTION OF A CONSTRUCTION PROJECT THAT HAS BEEN PHASED HAS UNDERGONE FINAL STABILIZATION AND A NOTICE OF TERMINATION IS SUBMITTED TO EPD. SUCH REPORTS SHALL BE READILY AVAILABLE BY END OF THE SECOND BUSINESS DAY AND/OR WORKING DAY AND SHALL IDENTIFY ALL INCIDENTS OF BEST MANAGEMENT PRACTICES THAT HAVE NOT BEEN PROPERLY INSTALLED AND/OR MAINTAINED AS DESCRIBED IN THE PLAN. WHERE THE REPORT DOES NOT IDENTIFY ANY INCIDENTS, THE INSPECTION REPORT SHALL CONTAIN A CERTIFICATION THAT THE BEST MANAGEMENT PRACTICES ARE IN COMPLIANCE WITH THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN. THE REPORT SHALL BE SIGNED IN ACCORDANCE WITH PART

5. MAINTENANCE. THE PLAN SHALL INCLUDE A DESCRIPTION OF PROCEDURES TO ENSURE THE TIMELY MAINTENANCE OF VEGETATION, EROSION AND SEDIMENT CONTROL MEASURES AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THE SITE PLAN.

SAMPLING REQUIREMENTS. THIS PERMIT REQUIRES THE MONITORING OF NEPHELOMETRIC TURBIDITY IN RECEIVING WATER(S) OR OUTFALLS IN ACCORDANCE WITH THIS PERMIT. THIS PARAGRAPH SHALL NOT APPLY TO ANY LAND DISTURBANCE ASSOCIATED WITH THE CONSTRUCTION OF SINGLE-FAMILY HOMES WHICH ARE NOT PART OF A SUBDIVISION OR PLANNED COMMON DEVELOPMENT UNLESS FIVE (5) ACRES OR MORE WILL BE DISTURBED. THE FOLLOWING PROCEDURES CONSTITUTE EPD'S GUIDELINES FOR SAMPLING TURBIDITY.

SAMPLING REQUIREMENTS SHALL INCLUDE THE FOLLOWING

(1) A USGS TOPOGRAPHIC MAP, A TOPOGRAPHIC MAP OR A DRAWING (REFERRED TO AS A TOPOGRAPHIC MAP) THAT IS A SCALE EQUAL TO OR MORE DETAILED THAN A 1:24000 MAP SHOWING THE LOCATION OF THE SITE OR THE STAND ALONE CONSTRUCTION; (A) THE LOCATION OF ALL PERENNIAL AND INTERMITTENT STREAMS AND OTHER WATER BODIES AS SHOWN ON A USGS TOPOGRAPHIC MAP, AND ALL OTHER PERENNIAL AND INTERMITTENT STREAMS AND OTHER WATER BODIES LOCATED DURING MANDATORY FIELD VERIFICATION, INTO WHICH THE STORM WATER IS DISCHARGED AND (B) THE RECEIVING WATER AND/OR OUTFALL SAMPLING LOCATIONS. WHEN THE PERMITTEE HAS CHOSEN TO USE A USGS TOPOGRAPHIC MAP AND THE RECEIVING WATER(S) IS NOT SHOWN ON THE USGS TOPOGRAPHIC MAP. THE LOCATION OF THE RECEIVING WATER(S) MUST BE HAND-DRAWN ON THE USGS TOPOGRAPHIC MAP FROM WHERE THE STORM WATER(S) ENTERS THE RECEIVING WATER(S) TO THE POINT WHERE THE RECEIVING WATER(S) COMBINES WITH THE FIRST BLUE LINE STREAM SHOWN ON THE USGS TOPOGRAPHIC MAP;

(2). A WRITTEN NARRATIVE OF SITE SPECIFIC ANALYTICAL METHODS USED TO COLLECT, HANDLE AND ANALYZE THE SAMPLES INCLUDING QUALITY CONTROL/QUALITY ASSURANCE PROCEDURES. THIS NARRATIVE MUST INCLUDE PRECISE SAMPLING METHODOLOGY FOR EACH SAMPLING LOCATION;

(3). WHEN THE PERMITTEE HAS DETERMINED THAT SOME OR ALL OUTFALLS WILL BE SAMPLED, A RATIONALE MUST BE INCLUDED ON THE PLAN FOR THE NTU LIMIT(S) SELECTED FROM APPENDIX B. THIS RATIONALE MUST INCLUDE THE SIZE OF THE CONSTRUCTION SITE, THE CALCULATION OF THE SIZE OF THE SURFACE WATER DRAINAGE AREA, AND THE TYPE OF RECEIVING WATER(S) (I.E., TROUT STREAM OR SUPPORTING WARM WATER

(4). ANY ADDITIONAL INFORMATION EPD DETERMINES NECESSARY TO BE PART OF THE PLAN. EPD WILL PROVIDE WRITTEN NOTICE TO THE PERMITTEE OF THE INFORMATION NECESSARY AND THE TIME LINE FOR SUBMITTAL.

a. SAMPLE TYPE. ALL SAMPLING SHALL BE COLLECTED BY "GRAB SAMPLES" AND THE ANALYSIS OF THESE SAMPLES MUST BE CONDUCTED IN ACCORDANCE WITH METHODOLOGY AND TEST PROCEDURES ESTABLISHED BY 40 CFR PART 136 (UNLESS OTHER TEST PROCEDURES HAVE BEEN APPROVED); THE GUIDANCE DOCUMENT TITLED "NPDES STORM WATER

SAMPLING GUIDANCE DOCUMENT, EPA 833-B-92-001" AND GUIDANCE DOCUMENTS THAT MAY BE PREPARED BY THE EPD.

(1). SAMPLE CONTAINERS SHOULD BE LABELED PRIOR TO COLLECTING THE SAMPLES.

(2). SAMPLES SHOULD BE WELL MIXED BEFORE TRANSFERRING TO A SECONDARY CONTAINER. (3). LARGE MOUTH, WELL CLEANED AND RINSED GLASS OR PLASTIC JARS SHOULD BE USED FOR COLLECTING SAMPLES. THE JARS SHOULD BE CLEANED THOROUGHLY TO AVOID CONTAMINATION.

MANUAL, AƊJOMATIC OR RISING \$TAGE SAMPLING MAY BE UTILIZED. SAMPLES REQÚIRED BY THIS PERMIT SHOULD BE ANALYZED IÑMEDIATELY UT IN NO CASE DATER THAN 48 HOURS AFTER COLLECTION. HOWEVER, SAMPLES FROM AUTOMATIC SAMPLERS MUST BE COLLECTED NO LATER THAN THE NEXT BUSINESS QAY AFTER THEIR ACCUMULATION, UNLESS FLOW THROUGH AUTOMATED ANALYSIS IS UTILIZED. IF/AUTOMATED SAMPLING IS UTILIZED AND THE AUTOMATIC SAMPLER IS NOT ACTIVATED DURING THE QUALIFYING EVENT, THE PERMITTEE MUST UTILIZE MANUAL SAMPLING OR RISING STAGE SAMPLING DURING THE NEXT QUALIFYING EVENT. DILUTION OF SAMPLES IS NOT REQUIRED. SAMPLES MAY BE AMALYZED DIRECTLY WITH PROPERLY CALIBRATED TORBIDIMETER. SAMPLES ARE NOT REQUIRED TO BE COOLED

SAMPLING AND ANALYSIS OF THE RECEIVING WATER(S) OR OUTFALLS BEYOND THE MINIMUM FREQUENCY STATED IN THIS PERMIT MUST I RÉPORTED TO EPD AS SPECIFIED IN ART IV.E.). FOR C∮NSTRUCTION ACTIVITNES THE PRIMARY PERMITTEE MUST &LE ALL RECEIVING WATER(S), OR ∕LL OUTFALY(S), OR A COMBINATION, OF

(A). THE UPSTREAM SAMPLE FOR EACH RECEIVING WATER(S) MUST BE TAKEN IMMEDIATELY UPSTREAM OF THE CONFLUENCE OF THE FIRST STORM WATER DISCHARGE FROM THE PERMITTED ACTIVITY (I.E., THE DISCHARGE FARTHEST UPSTREAM AT THE SITE) BUT DOWNSTREAM OF ANY OTHER STORM WATER DISCHARGES NOT ASSOCIATED WITH THE PERMITTED ACTIVITY. WHERE APPROPRIATE, SEVERAL UPSTREAM SAMPLES FROM ACROSS THE RECEIVING WATER(S) MAY NEED TO BE TAKEN AND THE ARITHMETIC AVERAGE OF THE TURBIDITY OF THESE SAMPLES USED FOR THE UPSTREAM

RECEIVING WATER(S) AND OUTFALL(S). SAMPLES TAKEN FOR THE PURPOSE OF COMPLIANCE WITH THIS PERMIT SHALL/BE REPRESENTATIVE OF THE

MONITORED ACTIVITY AND REPRESENTATIVE OF THE WATER QUALITY OF THE RECEIVING WATER(S) AND/OR THE STORM WATER OUTFALLS USING THE

(B). THE DOWNSTREAM SAMPLE FOR EACH RECEIVING WATER(S) MUST BE TAKEN DOWNSTREAM OF THE CONFLUENCE OF THE LAST STORM WATER DISCHARGE FROM THE PERMITTED ACTIVITY (I.E., THE DISCHARGE FARTHEST DOWNSTREAM AT THE SITE) BUT UPSTREAM OF ANY OTHER STORM WATER DISCHARGE NOT ASSOCIATED WITH THE PERMITTED ACTIVITY. WHERE APPROPRIATE, SEVERAL DOWNSTREAM SAMPLES FROM ACROSS THE RECEIVING WATER(S) MAY NEED TO BE TAKEN AND THE ARITHMETIC AVERAGE OF THE TURBIDITY OF THESE SAMPLES USED FOR THE DOWNSTREAM

(C). IDEALLY THE SAMPLES SHOULD BE TAKEN FROM THE HORIZONTAL AND VERTICAL CENTER OF THE RECEIVING WATER(S) OR THE STORM WATER

(D). CARE SHOULD BE TAKEN TO AVOID STIRRING THE BOTTOM SEDIMENTS IN THE RECEIVING WATER(S) OR IN THE OUTFALL STORM WATER CHANNEL.

(E). THE SAMPLING CONTAINER SHOULD BE HELD SO THAT THE OPENING FACES UPSTREAM. (F). THE SAMPLES SHOULD BE KEPT FREE FROM FLOATING DEBRIS.

(G). PERMITTEES DO NOT HAVE TO SAMPLE SHEETFLOW THAT FLOWS ONTO UNDISTURBED NATURAL AREAS OR AREAS STABILIZED BY THE PROJECT. FOR PURPOSES OF THIS SECTION, STABILIZED SHALL MEAN, FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES AND AREAS LOCATED OUTSIDE THE WASTE DISPOSAL LIMITS OF A LANDFILL CELL THAT HAS BEEN CERTIFIED BY EPD FOR WASTE DISPOSAL, 100% OF THE SOIL SURFACE IS UNIFORMLY COVERED IN PERMANENT VEGETATION WITH A DENSITY OF 70% OR GREATER, OR LANDSCAPED ACCORDING TO THE PLAN (UNIFORMLY COVERED WITH LANDSCAPING MATERIALS IN PLANNED LANDSCAPED AREAS), OR EQUIVALENT PERMANENT STABILIZATION MEASURES AS DEFINED IN THE MANUAL (EXCLUDING A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET CROP PERENNIALS APPROPRIATE FOR THE

(H). ALL SAMPLING PURSUANT TO THIS PERMIT MUST BE DONE IN SUCH A WAY (INCLUDING GENERALLY ACCEPTED SAMPLING METHODS, LOCATIONS, TIMING, AND FREQUENCY) AS TO ACCURATELY REFLECT WHETHER STORM WATER RUNOFF FROM THE CONSTRUCTION SITE IS IN COMPLIANCE WITH THE STANDARD SET FORTH IN PARTS III.D.3. OR III.D.4.., WHICHEVER IS APPLICABLE.

(1). THE PRIMARY PERMITTEE MUST SAMPLE IN ACCORDANCE WITH THE PLAN AT LEAST ONCE FOR EACH RAINFALL EVENT DESCRIBED BELOW. FOR A QUALIFYING EVENT, THE PERMITTEE SHALL SAMPLE AT THE BEGINNING OF ANY STORM WATER DISCHARGE TO A MONITORED RECEIVING WATER AND/OR FROM A MONITORED OUTFALL LOCATION WITHIN IN FORTY-FIVE (45) MINUTES OR AS SOON AS POSSIBLE.

(2). HOWEVER, WHERE MANUAL AND AUTOMATIC SAMPLING ARE IMPOSSIBLE (AS DEFINED IN THIS PERMIT), OR ARE BEYOND THE PERMITTEE'S CONTROL, THE PERMITTEE SHALL TAKE SAMPLES AS SOON AS POSSIBLE, BUT IN NO CASE MORE THAN TWELVE (12) HOURS AFTER THE BEGINNING OF THE STORM WATER DISCHARGE.

SAMPLING BY THE PERMITTEE SHALL OCCUR FOR THE FOLLOWING QUALIFYING EVENTS:

SUBMITTAL OF A NOT, IN THE DRAINAGE AREA OF THE LOCATION SELECTED AS THE SAMPLING LOCATION, WHICHEVER COMES FIRST;

(A). FOR EACH AREA OF THE SITE THAT DISCHARGES TO A RECEIVING WATER OR FROM AN OUTFALL, THE FIRST RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH WITH A STORM WATER DISCHARGE THAT OCCURS DURING NORMAL BUSINESS HOURS AS DEFINED IN THIS PERMIT AFTER ALL CLEARING AND GRUBBING OPERATIONS HAVE BEEN COMPLETED, BUT PRIOR TO COMPLETION OF MASS GRADING OPERATIONS, IN THE DRAINAGE AREA OF THE LOCATION SELECTED AS THE SAMPLING LOCATION;

(B). IN ADDITION TO (A) ABOVE, FOR EACH AREA OF THE SITE THAT DISCHARGES TO A RECEIVING WATER OR FROM AN OUTFALL, THE FIRST RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH WITH A STORM WATER DISCHARGE THAT OCCURS DURING NORMAL BUSINESS HOURS AS DEFINED IN THIS PERMITEITHER 90 DAYS AFTER<u>THE FIRST</u> SAMPLING EVENT OR AFTER ALL MASS GRADING OPERATIONS HAVE BEEN COMPLETED, BUT PRIOR TO

C). AT THE TIME ÒE SAMPLING PERFORMED PURSUANT TO (A) AND (B) ABOVE,∕AF BMPS|IN ANY AREA OF THE SITE/THAT DIS∕CHARGES \TO A ŘÉCEIVING WATER OR FROM AN OUT∱ALL ARE NOT PROPERLY ĎESIGNÈD, INSTÆĽLED AND MAINTAINED, CORRECTIVE ÆCTION SHÁLL∖BE DEFÍNED AND |MPLEMENTÈD WITHIN TWO (2) BUSINESS DAYS, AND TURBIDITY SAMPLES SHALL BE TAKÉN FROM DISCHARGES FROM THAT AREA ON THE SINE FOR EACH SUB\$EQNENT RAIN ÈYENT THA∏ REACHES OR EXCEEDS 0.5 INCH DURING NORMAL BUSINESS HOURS* UNTIL/THE SELE¢TED TURRIDITY STANDARD|IS ATRAINED, OR WITL POST-STORW EVENT INSPECTIONS DETERMINE THAT BMPS ARE PROPERLY DESIGNED, INSTALLED AND MAINTAINED

)). WHERE SAMPLING RURSUANT TO (A), (B) OR (C) ABOVE IS REQUIRED BUT NOT POSSIBLE (OR NOT REQUIRED BECAUSE THERE WAS NO DISCHARGE), THE PERMITTEE, IN ACCORDANCE WITH PART IV.D.4.A.(6), MUST INCLUDE A WRITTEN JUSTIFICATION IN THE INSPECTION REPORT OF WHIS SAMPLING WAS NOT PERFORMED. PROVIDING THIS JUSTIFICATION DOES NOT RELIEVE THE PERMITTEE OF ANY SUBSEQUENT SAMPLING OBLIGATIONS UNDER (A), (B) OR (C) ABOVE, AND

(E). EXISTING CONSTRUCTION ACTIVINES, LE., THOSE THAT ARE OCCURRING ON OR BEFORE THE EFFECTIVE DATE OF THIS PERMIT, THAT HAVE MET THE SAMPLING REQUIRED BY (A) ABOVE SHALL SAMPLE IN ACCORDANCE WITH (B). THOSE EXISTING CONSTRUCTION ACTIVITIES THAT HAVE MET THE SAMPLING REQUIRED BY (B) ABOVE SHALL NOT BE REQUIRED TO CONDUCT ADDITIONAL SAMPLING OTHER THAN AS REQUIRED BY (C) ABOVE.

*NOTE THAT THE PERMITTEE MAY CHOOSE TO MEET THE REQUIREMENTS OF (A) AND (B) ABOVE BY COLLECTING TURBIDITY SAMPLES FROM ANY RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH AND ALLOWS FOR SAMPLING AT ANY TIME OF THE DAY OR WEEK.

NON-STORM WATER DISCHARGES. EXCEPT FOR FLOWS FROM FIRE FIGHTING ACTIVITIES, SOURCES OF NON-STORM WATER LISTED IN PART III.A.2. OF THIS PERMIT THAT ARE COMBINED WITH STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY MUST BE IDENTIFIED IN THE PLAN. THE PLAN SHALL IDENTIFY AND ENSURE THE IMPLEMENTATION OF APPROPRIATE POLLUTION PREVENTION MEASURES FOR THE NON-STORM WATER COMPONENT(S) OF THE DISCHARGE.

THE APPLICABLE PERMITTEES ARE REQUIRED TO SUBMIT THE SAMPLING RESULTS TO THE EPD AT THE ADDRESS SHOWN IN PART II.C. BY THE FIFTEENTH DAY OF THE MONTH FOLLOWING THE REPORTING PERIOD. REPORTING PERIODS ARE MONTHS DURING WHICH SAMPLES ARE TAKEN IN ACCORDANCE WITH THIS PERMIT. SAMPLING RESULTS SHALL BE IN A CLEARLY LEGIBLE FORMAT. UPON WRITTEN NOTIFICATION, EPD MAY REQUIRE THE APPLICABLE PERMITTEE TO SUBMIT THE SAMPLING RESULTS ON A MORE FREQUENT BASIS. SAMPLING AND ANALYSIS OF ANY STORM WATER DISCHARGE(S) OR THE RECEIVING WATER(S) BEYOND THE MINIMUM FREQUENCY STATED IN THIS PERMIT MUST BE REPORTED IN A SIMILAR MANNER TO THE EPD. THE SAMPLING REPORTS MUST BE SIGNED IN ACCORDANCE WITH PART V.G.2. SAMPLING REPORTS MUST BE SUBMITTED TO EPD

<u>UNTIL SUCH</u> TIME AS A NOT IS SUBMITTED IN ACCORDANCE WITH PART VI. ALL SAMPLING REPORTS SHALL INCLUDE THE FOLLOWING INFORMATION: THE RAINFALL AMOUNT, DATE, EXACT PLACE AND TIME OF SAMPLING OR MEASUREMENTS THE NAME(S) OF THE CERTIFIED PERSONNEL WHO PERFORMED THE SAMPLING AND MEASUREMENTS; THE DATE(S) ANALYSES WERE PERFORMED; THE TIME(S) ANALYSES WERE INITIATED; THE NAME(S) OF THE CERNEIED PERSONNEL WHO PERFORMED THE ANALYSES; REFERENCES AND WRITTEN PROCEDURES, WHEN AVAILABLE, FOR THE ANALYTICAL TECHNIQUES OR METHODS USED; THE R∯SULTS OF SOCH ANALYSES, INCLUDING THE BENCH SHEETS, INSTRUMENT READOUTS, COMPUTER DYSKS OR TAPES, ETC., USED TO DETERMINE THESE RESULTS;

ALL WRITTEN CORRESPONDENCE REQUIRED BY THIS PERMIT SHALL BE SUBMITTED BY RETURN RECEIPT CERTIFIED MAIL (OR SIMILAR SERVICE TO THE APPROPRIATE DISTRICT OFFICE OF THE EPD ACCORDING TO THE SCHEDULE IN APPENDIX A OF THIS PERMIT. THE PERMITTEE SHALL RETAIN A COPY OF THE PROOF OF SUBMITTAL AT THE CONSTRUCTION SITE OR THE PROOF OF SUBMITTAL SHALL BE READILY AVAILABLE AT A DESIGNATED LOCATION FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUCH TIME AS A NOT IS SUBMITTED IN ACCORDANCE WITH PART VI. IF AN ELECTRONIC SUBMITTAL IS PROVIDED BY EPD THEN THE WRITTEN CORRESPONDENCE MAY BE SUBMITTED ELECTRONICALLY; IF REQUIRED, A PAPER COPY MUST ALSO BE SUBMITTED BY RETURN RECEIPT CERTIFIED MAIL OR SIMILAR SERVICE.

RESULTS WHICH EXCEED 1000 NTU SHALL TE REPORTED AS "EXCEEDS 1000 NTU;" AND

CERTIFICATION STATEMENT THAT SAMPLING WAS CONDUCTED AS PER THE PLAN.

THE PRIMARY PERMITTEE SHALL RETAIN THE FOLLOWING RECORDS AT THE CONSTRUCTION SITE OR THE RECORDS SHALL BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUCH TIME AS A NOT IS SUBMITTED IN

a. A COPY OF ALL NOTICES OF INTENT SUBMITTED TO EPD; . A COPY OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN REQUIRED BY THIS PERMIT; THE DESIGN PROFESSIONAL'S REFORT OF THE RESULTS OF THE INSPECTION CONDUCTED IN ACCORDANCE WITH PART IV.A.5.0F THIS PERMIT; A COPY OF ALL SAMPLING INFORMATION, RESULTS, AND REPORTS REQUIRED BY THIS PERMIT; . A COPIX OF ALL INSPECTION REPORTS GENERATED IN ACCORDANCE WITH #ART IV.D.#A. OF THIS PERMIT: A COPY OF ALL VIOLATION SUMMARIES AND VIOLATION SUMMARY REPORTS GENERATED IN ACCORDANCE WITH PART III.D/2. OF THIS PERMIT; AND DAILY RAINFALL INFORMATION COLLECTED IN ACCORDANCE WITH PAPT IV.D.4.A/2). OF THIS PERMIT. COPIES OF ALL NOTICES OF INTENT, NOTICES OF TERMINATION, INSPECTION REPORTS, SAMPLING REPORTS (INCLUDING ALL CALIBRATION A MAINTENANCE RECORDS AND ALL ONIGINAL STRIP CHART RECORDINGS FOR CONTINUOUS MONITORING INSTRUMENTATION) OR OTHER REPORTS REQUESTED BY THE EPD, EROSION, SEDIMENTATION AND POLLUTION CONTROL PLANS, RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF

INTENT TO BE COVERED BY THIS PERMIT AND ALL OTHER REGORDS DEQUIRED BY THIS PERMIT SHALL BE PETAINED BY THE PERMITTEE WHO EITHEF

HIS PERMIT. THESE RECORDS MUST BE MAINTAINED AT THE PERMITTEE'S PRIMARY PLACE OF BUSINESS/OR AT A DÉSIGNATED ALTERNATIVE `

PRODUCED∣OR USED IT FOR A PERIOD OF AT LEAST THREE YEARS FROM THE DATE THAT THE NOT IS SVBMITTED IN ∕ACCORDANCE WITH PART VI. OF

LOCATION ONCE THE CONSTRUCTION ACTIVITY HAS CEASED AT THE PERMITTED SITE. THIS PERIOD MAY BE EXTENDED BY REQUEST OF THE EPD AT

ALL WRITTEN CORRESPONDENCE REQUIRED BY THIS PERMIT SHALL BE SUBMITTED BY RETURN RECEIPT CERTIFIED MAIL (OR SIMILAR SERVICE) TO THE APPROPRIATE

<u>KEEPING PLANS CURRENT</u>

ANY TIME UPON WRITTEN NOTIFICATION TO THE PERMITTEE.

DISTRICT OFFICE OF THE EPD ACCORDING TO THE SCHEDULE IN APPENDIX A OF THIS PERMIT.

l'THE PRIMARY, SECONDARY OR TERTIARY[PERMITTEES, AS APPLICABLE, WHO BEGAN CONSTRUCTION]ON OR BEFORE THE EFFECTIVE DAJE OF THIS RERMIT SHALL AMEND THEIR PLAN OR TEC PLAN WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE, WHICH HAS A SIGNIFICANT EFFECT ON BMPS WITH A HYDRAULIC COMPONENT, I.E., THOSE BMPS WHERE THE DESIGN IS BASED UPON RAINFALL INTENSITY, DURATION AND METURN FREQUENCY OF STORMS OR ON THE POTENTIAL FOR THE DISCHARGE OF POLLUTANTS TO THE WATERS OF GEORGIA AND WHICH HAS NOT OTHERWISE BEEN ADDRESSIAN IN THE RLAN OR TEC PLAN, IF THE PLAN OR TEC PLAN PROVES TO BE INEFFECTIVE IN ELIMINATING OR SIGNATIONALLY MANIMIZING POLLUTANTS FROM SOURCES IDENTIFIED UNDER PART IV.D.2 OF THIS PERMIT, OR OF THE PLAN OR TEC PLAN PROVES TO BE INEFFECTIVE AT ACHIEVING THE GENERAL OBJECTIVES OF CONTROLLING POLLUTANTS IN STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY. AMENDMENTS TO THE PLAN MOST BE CERTIFIED BY A DESIGN PROFESSIONAL AS PROVIDED IN THIS PERMIT. FOR CONSTRUCTION COMMENCING AFTER THE EFFECTIVE DATE OF THIS PERMIT, SECONDARY PERMITTEES MUST NOTIFY THE PRIMARY PERMITTEE WITHIN 24-HOURS OF BECOMING AWARE OF ANY SUSPECTED BMP DESIGNED DEFICIENCIES WHICH ARE NOT EFFECTIVE IN CONTROLLING THE DISCHARGE OF POLLUTANTS FROM THE SECONDARY PERMITTEE'S SITE THE PRIMARY PERMITTEE MUST EVALUATE WHETHER THESE DEFICIENCIES EXIST WITHIN 48-HOURS OF SUCH NOTICE, AND IF THESE DEFICIENCES ARE FOUND TO EXIST MUST AMEND THE PLAN IN ACCORDANCE WITH THIS PARAGRAPH TO ADDRESS THOSE DEFICIENT BMPS WITHIN SEVEN (7) DAYS OF BEING NOTIFIED BY THE SECONDARY PERMITTEE. WHEN THE PLAN IS AMENDED, THE PRIMARY PERMITTEE MUST NOTIFY AND PROVIDE A COPY OF THE AMENDMENT TO ALL AFFECTED SECONDARY PERMITTES WITHIN THIS SEVEN (7) DAY PERIOD. THE SECONDARY PERMITTEE(S) MUST MPLEMENT ANY NEW PLAN REQUIREMENTS AFFECTING THEIR SITE(S) WITHIN 48-HOURS OF NOTIFICATION BY THE PRIMARY PERMITTEE. NOTWITHSTANDING THE FOREGOING, THE PRIMARY OR LIERTIARY PERMITTEE REMAINS RESPONSIBLE FOR INSURING THAT THE FLAN OR THE TEC PLAN, AS APPROPRIATE, WEETS THE REQUIREMENTS OF THIS PERMIT.

POLLUTANT CONTROL:

POTENTIAL SOURCES OF STORM WATER POLLUTION AS IDENTIFIED ABOVE WILL BE ADDRESSED AS NOTED ABOVE DURING CONSTRUCTION. AFTER PROJECT COMPLETION POLLUTANTS WILL BE CONTROLLED THROUGH THE WATER QUALITY COMPONENT OF THE OFF-SITE STORMWATER/EXTENDED DRY-DETENTION POND CONSTRUCTED FOR THIS PROJECT AND MAINTAINED BY THE DEVELOPER.

LEVEL II CERTIFIED DESIGN PROFESSIONAL



EORGIA SOIL AND WATER CONSERVATION COMMISSION ROBERT A. CONE, R.L.A.

CERTIFICATION NUMBER: 0000039604 EXPIRES: 05/21/2026



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P.O. Box 187

OWNER/DEVELOPER: GRAY RAIL, LLC

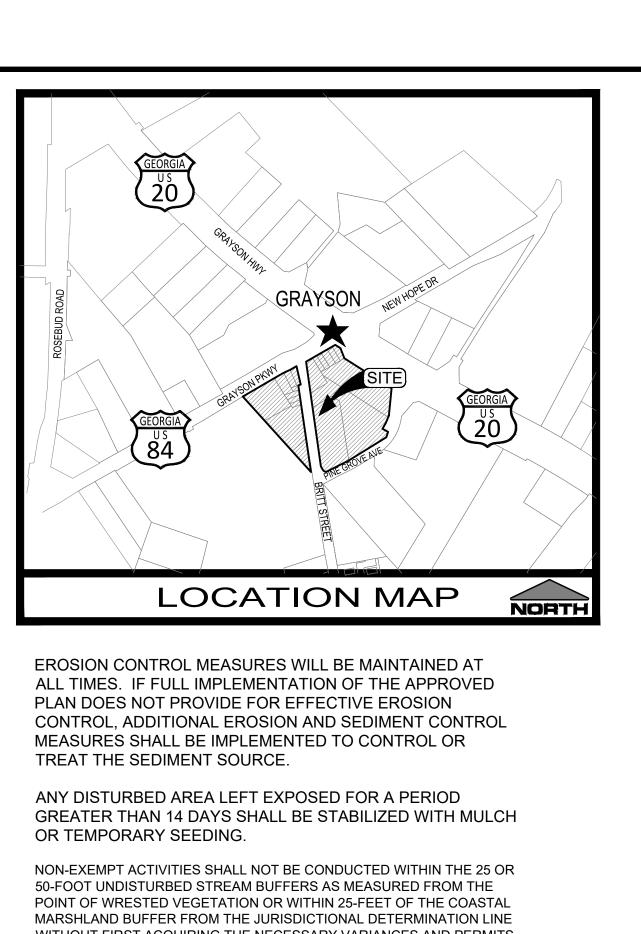
3343 BEECH HOLLOW COURT LOGANVILLE, GA 30052 24-HR CONTACT: JOHN LANGE 404-731-7811 lange.john@comcast.net

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SIGNED BY: RAC SCALE: AS SHOWN

AWN BY JAI IECKED BY: RAC



WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.

ALL DISTURBED AREAS TO BE LEFT IDLE FOR LESS THAN TWO WEEKS TO BE TREATED WITH MULCH (Ds1). AREAS LEFT IDLE FOR TWO TO FOUR WEEKS SHALL BE TREATED WITH TEMPORARY GRASSING (Ds2). AREAS LEFT IDLE FOR FOUR WEEKS OR MORE TO BE ESTABLISHED WITH PERMANENT GRASSING (Ds3).

TEMPORARY EROSION CONTROL MEASURES TO REMAIN IN PLACE UNTIL FINAL STABILIZATION.

AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE SIGNIFICANT EFFECT ON BMP's WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.

WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

Du

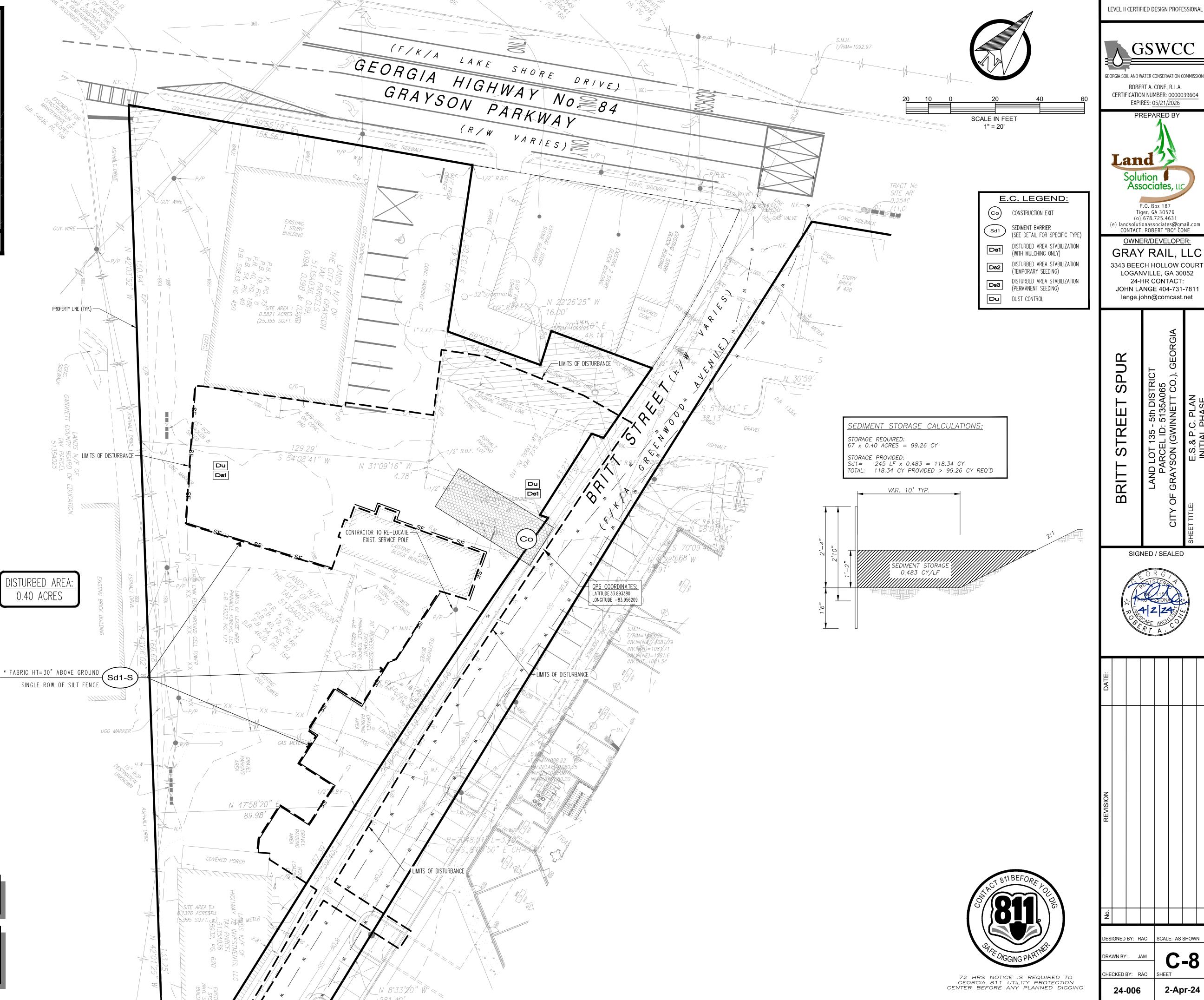
OFF-SITE VEHICLE TRACKING OF DIRT, SOILS, AND SEDIMENTS AND THE GENERATION OF DUST SHALL BE MINIMIZED OR ELIMINATED TO THE MAXIMUM EXTENT PRACTICAL. THE PLAN SHALL INCLUDE THE BEST MANAGEMENT PRACTICE TO BE IMPLEMENTED AT THE SITE OR CONSTRUCTION ACTIVITY.

E.C. FOR BUILDING MATERIALS:

PLASTIC SHEETING OR TEMPORARY ROOFS TO BE USED TO COVER BUILDING MATERIALS, BUILDING PRODUCTS, CONSTRUCTION WASTES, TRASH, LANDSCAPE MATERIALS, FERTILIZERS, PESTICIDES, HERBICIDES, DETERGENTS, SANITARY WASTE, AND OTHER MATERIALS IN ORDER TO MINIMIZE EXPOSURE TO PRECIPITATION AND TO STORMWATER.

THERE ARE [] / ARE NO [X] WATERS OF THE STATE WITHIN 200 FEET OF THE PROJECT SITE.

N.P.D.E.S. STORMWATER MONITORING AND THE REGULATIONS OF GAR 100001 DO NOT APPLY TO THIS PROJECT DUE TO THE FACT THAT LESS THAN 1.00 ACRE IS DISTURBED.





EORGIA SOIL AND WATER CONSERVATION COMMISSION ROBERT A. CONE, R.L.A.

PREPARED BY

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SIGNED / SEALED



SCALE: AS SHOWN

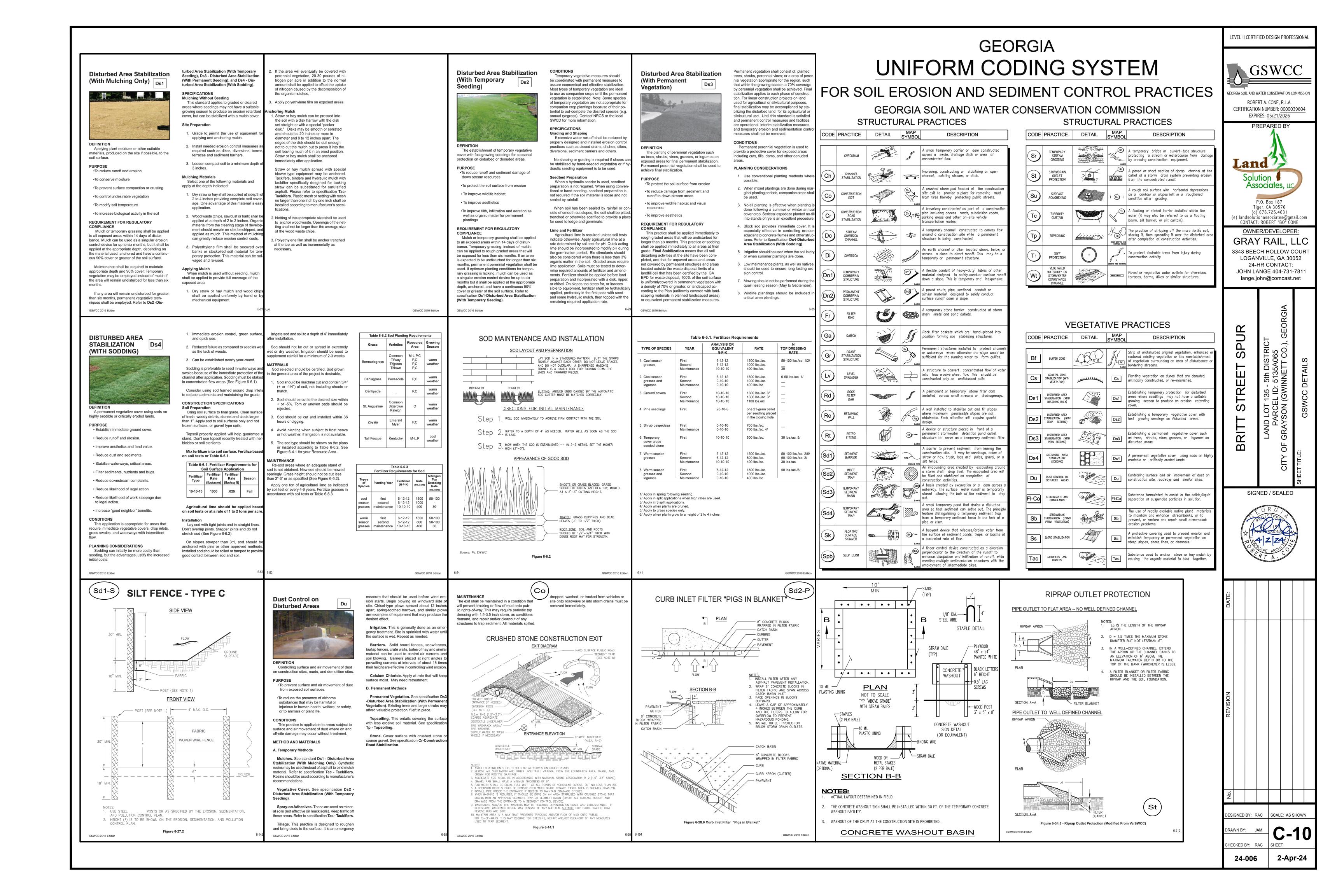


Table 6-4.1 - Temporary Cover or Companion Cover Crops PLANT, PLANTING RATE, AND PLANTING DATE FOR TEMPORARY COVER OR COMPANION CROPS

Species	Broadcast	Resource Area ³											а		Remarks	
					Solid lines indicate optimum dates, dotted lines indicate permissible but marginal dates.											
		Pure Live Seed (PLS) Per 1000 sqft		J	F	М	А	М	J	J	Α	S	0	N	D	
BARLEY Hordeum vulagre																
alone	3 bu. (144 lbs)	3.3 lbs	M-L													14,000 seed per pound. Winter hardy. Use
in mixture	1/2 bu. (24lbs)	0.6 lb	Р													on productive soils.
			С													
LESPEDEZA, ANNUAL Lespedeza striata																
alone	40 lbs	0.9 lb	M-L			_										200 000 and per pound. May valuntaer for an
in mixture	10 lbs	0.2 lb	Р													200,000 seed per pound. May volunteer for se eral years. Use inoculant EL.
			С													
LOVEGRASS, WEEPING Eragrostis curvula										·						
alone	4 lbs	0.1 lb	M-L													1,500,000 seed per pound. May last for severa
in mixture	2 lbs	0.05 lb	Р													years. Mix with Sericea lespedeza.
			С													
MILLET, BROWNTOP Panicum fasciculatum																
alone	40 lbs	0.9 lb	M-L													127 000 and an round Ouisk days -
in mixture	10 lbs	0.2 lb	P C													137,000 seed per pound. Quick dense cover. Will provide excessive competion in mixtures i seeded at high rate.

Species	t Rates	Resource Area ³		F	Plant	ting	Dat	es b	y R	esou	urce	Are	a		Remarks	
				Soli	id lin			te opt issibl						indi	cate	
	Rate Per Acre²	Pure Live Seed (PLS) Per 1000 sqft		J	F	М	А	М	7	J	Α	S	0	N	D	
MILLET, PEARL Pennesetum glaucum																
alone	50 lbs	1.1 lbs	M-L P C													88,000 seed per pound. Quick dense cover. May reach 5 feet in height. Not recommended for mixtures.
OATS Avena sativa																
alone in mixture	4 bu. (128 lbs) 1 bu. (32 lbs)	2.9 lbs 0.7 lb	M-L P C													13,000 seed per pound. Use on productive soils. Not as a winter hardy as rye or barley.
RYE Secale cereale																
alone in mixture	3 bu. (168 lbs) 1/2 bu. (28 lbs)	3.9 lbs 0.6 lb	M-L P C													18,000 seed per pound. Quick cover. Drought tolerant and winter hardy.
RYEGRASS, ANNUAL Lolium temulentum																
alone	40 lbs	0.9 lb	M-L P C													227,000 seed per pound. Dense cover. Very competitive and is <u>not</u> to be used in mixtures.
SUDANGRASS Sorghum sudanese																
alone	60 lbs	1.4 lbs	M-L P C													55,000 seed per pound. Good on droughty sites. Not recommended for mixtures.

Species	Broadcast Rat	Broadcast Rates					ting	Date	es b	y Re	esol	urce	e Are	a		Remarks		
				Sol	id lin			e opt					l lines	indi	cate			
	Rate Per Acre ²	Pure Live Seed (PLS) Per 1000 sqft		J	F	М	A	M	J	J	A	s	0	N	D			
TRITICALE X-Triticosecale																		
alone in mixture	3 bu. (144 lbs) 1/2 bu. (24 lbs)	3.3 lbs 0.6 lb	С													Use on lower part of Southern Coastal Plain and in Atlantic Coastal Flatwoods only.		
WHEAT Triticum aestivum																		
alone in mixture	3 bu. (180 lbs) 1/2 bu. (30 lbs)	4.1 lbs 0.7 lb	M-L P C													15,000 seed per pound. Winter hardy.		

(see Figure 6-4.1, p. 6-40)

¹Temporary cover crops are very competitive and will crowd out perennials if seeded too heavily ²Reduce seeding rates by 50% when drilled. ³M-L represents the Mountain; Blue Ridge; and Ridges and Valleys MLRAs P represents the Southern Piedmont MLRA C represents Southern Coastal Plan; Sand Hills; Black Lands; and Atlantic Coast Flatwoods MLRAs Table 6-5.2- Permanent Cover Crops

Table 6-5.2- Permanent Cover Crops

CROWNVETECH

with winter annuals or cool

Coronilla varia

season grasses

PLANT, PLANTING RATE, AND PLANTING DATE FOR PERMANENT COVER 1

			_													
Species	Broadcas	t Rates	Resource Area ³		F	Plant	ing	Date	es b	y R	esou	ırce	Are	a		Remarks
				Soi	lid line	es inc	dicate ermi	e opt	imun ə but	n dat mar	es, di ginal	otted date	lines s.	india	cate	
	Rate Per Acre²	Pure Live Seed (PLS) Per 1000 sqft		J	F	М	Α	М	J	J	A	s	0	N	D	
BAHIA, PENSACOLA Paspalum notatum																
alone or with temporary cover with other perennials	60 lbs	1.4 lbs	Р								 	 	 			166,000 seed per pound. Low growing. Sod forming. Slow to establish. Plant with a companion crop. Will spread nto bermuda pastures and awns. Mix with Sericea lespe-
	30 lbs	0.7 lb	С													deza or weeping lovegrass.
BAHIA, WILMINGTON Paspalum notatum																
alone or with temporary cover	60 lbs	1.4 lb	M-L													
with other perennials	30 lbs	0.7 lb	Р								ļ		ļ			Same as above.
BERMUDA, COMMON Cynodon dactylon																
Hulled seed			Р													
alone	10 lbs	0.2 lb	С													1,787,000 seed per pound. Quick cover. Low growing and sod forming. Full sun.
with other perennials	6 lbs	0.7 lb														Good for athletic fileds.
BERMUDA, COMMON Cynodon dactylon																
Unhulled seed			_													L
with temporary cover	10 lbs	0.2 lb	Р													Plant with winter annuals.
with other perennials	6 lbs	0.1 lb	С	_											\vdash	Plant with Tall Fescue

Broadcast Rates Area³ Planting Dates by Resource Area Remarks Solid lines indicate optimum dates, dotted lines indicate permissible but marginal dates. Pure Live Seed (PLS) Rate Per Acre² Per 1000 sqft J | F | M | A | M | J | J | A | S | O | N | D BERMUDA SPRIGS Cynodon dactylon 40 cu ft 0.9 cu ft Coastal, Common, Midland, A cubic foot contains approximately 650 sod plugs 3' x3' or Tift 44 sprigs. A bushel contains 1.25 cubic feet or approximately 800 springs. Same as above. Coastal, Common, of Tift 44 Southern Coastal Plain only CENTIPEDE PC Block sod only Drought tolerant. Full sun or partial shade. Effective adjacent to concrete and in concentrated flow areas. Irrigation is needed until fully established. Do not plant near pastures. Winterhardy as far as north

Athens and Atlanta

100,000 seed per pound. Dense growth.

Drought tolerant and fire resistant. Attractive

rose, pink and white blossoms spring to late

fall. Mix with 30 pounds of Tall fescue or 15

pounds of rye. Inoculate see with M inocu-

lant. Use from North Atlanta and Northward.

Table 6-5.2- Permanent Cover Crops PLANT, PLANTING RATE, AND PLANTING DATE FOR PERMANENT COVER 1

15 lbs

0.3 lb

Species	Broadcast Rates		Resource Area ³	Planting Dates by Resource Area Solid lines indicate optimum dates, dotted lines indicate permissible but marginal dates.											Remarks	
	Rate Per Acre	Pure Live Seed (PLS) Rate Per Acre² Per 1000 sqft		J	F	М	Α	М	J	J	A	s	0	N	D	
FESCUE, TALL Festuca arundinacea																
alone	50 lbs	1.1 lb	M-L													227,000 seed per pound. Use alone only better sites. Mix with perennial lespeded or Crownvetch. Apply topdressing in spri
with other perennials	30 lbs	0.7 lb	Р													following fall plantings. Not for heavy us areas or athletic fields.
KUDZU Pueraria thumbergiana																
Plants or crowns	3' - 7' apart		ALL													Rapid and vigorous growth. Excellent in gully erosion control. Will climb. Good livestock forage.
LESPEDEZA SERICEA Lespedeza cuneata																- C
scarified	60 lbs	1.4 lb	M-L P C M-L P						 							350,000 seed per pound. Widely adapted Low maintenace. Mix with Weeping loved rass, Common bermuda, bahia, or tall fescue. Takes 2 to 3 years to become full established. Excellent on roadbanks. Incollete seed with EL inoculant.
unscarified	75 lbs	1.7 lb	C													Mix with Tall fesue or winter annuals.
seed- bearing hay	3 tons	1338 lbs	M-L P C										_			Cut when seed mixture is mature, but be- fore, it shatters. Add Tall fescue or winter annuals.

Table 6-5.2- Permanent Cover Crops

PLANT, PLANTING RATE, AND PLANTING DATE FOR PERMANENT COVER 1 Broadcast Rates Planting Dates by Resource Area Remarks Solid lines indicate optimum dates, dotted lines indicate permissible but marginal dates. Pure Live Seed (PLS) Rate Per Acre² Per 1000 sqft | F | M | A | M | J | J | A | S | O | N | D LESPEDEZA Ambro virgata Lespedeza virgata DC Appalow Lespedeza cuneata (Dumont) G. Don) 300,000 seed per pound. Height of growth is scarified 18 to 24 inches. Advantageous in urban ar-60 lbs 1.4 lb eas. Spreading-type growth. New growth has bronze coloration. Mix with weeping lovegrass, common bermuda, bahia, tall fescue or winter annuals. Do not mix with Sericea lespedeza. Slow to develop solid stands. 1.7 lb Inoculate seed with EL inoculant. unscarified LESPEDEZA, SHRUB Lespedeza bicolor Lespedeza thumbergii 3' x3' Provide wildlife food and cover. LOVEGRASS, WEEPING Eragrostis curvula 0.1 lb 4 lbs 1,500,000 seed per pound. Quick cover. Drought tolerant. Grows well with Sericea

lespedeza on roadbanks.

227,000 seed per pound. Mix with Weeping

lovegrass or other low-grwoing grasses or

PLANT, PLANTING RATE, AND PLANTING DATE FOR PERMANENT COVER 1 Broadcast Rates Planting Dates by Resource Area Area³ Remarks Solid lines indicate optimum dates, dotted lines indicate permissible but marginal dates. Pure Live Seed (PLS) Rate Per Acre² Per 1000 sgft J | F | M | A | M | J | J | A | S | O | N | C MAIDENCANE Panicum hemitomon For very wet sites. May clog channels. Dig sprigs from local sources. Use along river 2' x 3' spacing ALL banks and shorelines. PANICGRASS, ATLANTIC COASTAL Panicum amarum var amarukum Grows well on coastal sand dunes, borrow areas, and gravel pits. Provides winter cover for wildlife. Mix with Sericea lespedeza except 20 lbs 0.5 lb on sand dunes. REED CANARY GRASS Phalaris arundinacea alone 50 lbs 1.1 lb 30 lbs 0.7 lb P with other perrenials Grows similar to Tall fescue SUNFLOWER, 'AZTEC' MAXIMILLIAN Helianthus maximiliani

1 Reduce seeding rates by 50% when drilled 2 PLS is an abbreviation for Pure Live Seed. Refer to Section V.E. of these specifications. 3 M-L represents to Mountain; Blue Ridge; and Ridges and Valleys MLRAs P represents the Southern Piedmont MLRA

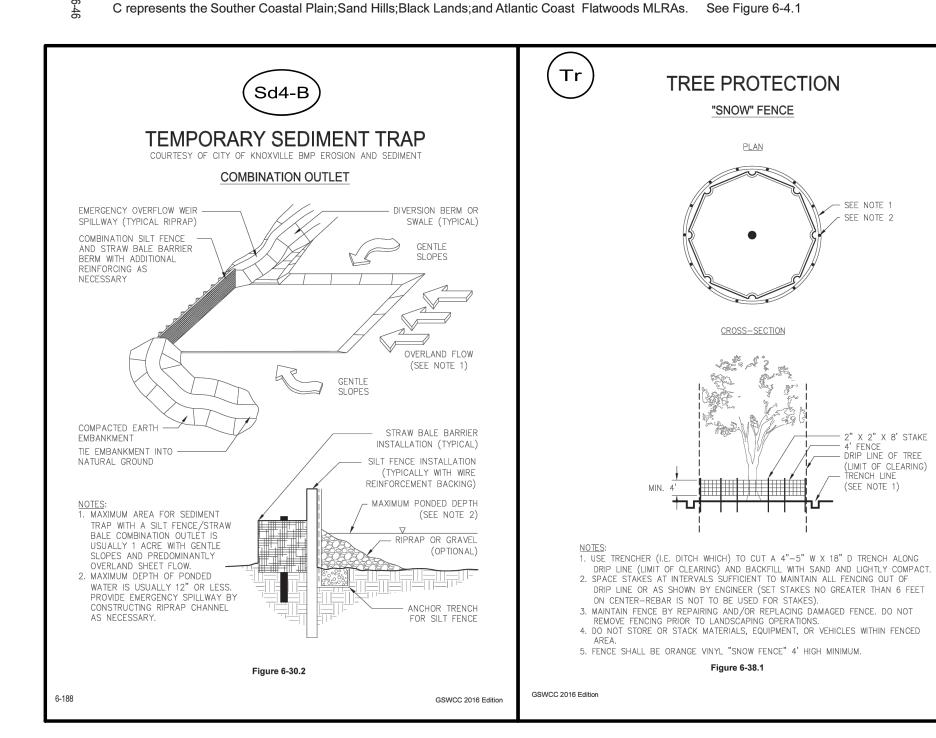
0.2 lb

10 lbs

2 lbs

Table 6-5.2- Permanent Cover Crops

0.05 lb



LEVEL II CERTIFIED DESIGN PROFESSIONAL

GEORGIA SOIL AND WATER CONSERVATION COMMISSION ROBERT A. CONE, R.L.A. CERTIFICATION NUMBER: 0000039604 EXPIRES: 05/21/2026

PREPARED BY Land Solution Associates, P.O. Box 187

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SPUR Ш STR BRIT

SIGNED / SEALED

ESIGNED BY: RAC SCALE: AS SHOWN RAWN BY: JAM

IECKED BY: RAC 2-Apr-24